



# BUILDING SURVEY REPORT

**CLIENT**                SAMPLE REPORT

**PROPERTY**            SAMPLE SURVEY  
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SURVEYORS LTD

**SURVEY DATE** 1 Oct 2025

**REF**                    BS SAMPLE



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## 1.1 - About the survey and the report

### Introduction

This report is for the private and confidential use of the client named in the report and for whom the survey is undertaken, and for the use of their professional advisors, and should not be reproduced in whole or in part or relied upon by Third Parties for any purpose without the express written authority of the Surveyor.

This report is produced by a properly qualified surveyor who will provide an objective opinion about the condition of the property which you, as the buyer, will be able to rely on and use. However, if you decide not to act on the advice in the report, you do so at your own risk.

### This report tells you;

- about the construction of the property and the history of its development as far as could be ascertained.
- about the condition of the property on the date it was inspected.
- any limitations that the surveyor experienced during the course of the inspection, and the nature of risks that may be present in those areas
- the nature of any significant defects that were found.
- how to approach rectification of defects identified.
- about elements of the property that will require more frequent or costly maintenance than would normally be expected
- whether more enquiries or investigations are needed.

### This report does not tell you;

- the market value of the property or matters that will be considered when a market valuation is provided (unless specifically requested and agreed in advance).
- the insurance reinstatement/rebuild cost, or the cost of carrying out repairs or improvements (unless specifically requested and agreed in advance).
- about the nature or condition of any part of the property that is/was  
specifically excluded from the inspection by prior arrangement  
not accessible or visible using normal and accepted surveying practices  
not accessible or visible for health or safety reasons
- about any minor defects that would be anticipated in a property of the type and age being inspected - the nature of such minor defects will vary between property types
- details of defects that would normally be categorised as wear and tear or which would normally be dealt with as a matter of routine maintenance.
- the report is not an asbestos inspection under the Control of Asbestos Regulations 2012.
- any advice on subjects that are not covered by the report. If you need further advice you must arrange for it to be provided separately.
- the condition of services (heating, plumbing, electrics, drains etc.) other than can be determined from a visual inspection and when checking them by operating them in normal everyday circumstances.

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## 1.2 - How the survey is carried out

### General

We carry out a thorough visual and non-invasive inspection of the inside and outside of the main building and all permanent outbuildings, recording the construction and defects (both major and minor) that are evident. This inspection is intended to cover as much of the property as reasonably physically accessible. Where this is not possible an explanation is provided in the relevant sections of the report.

The surveyor does not force or open up the fabric, or take action where there is a risk of causing personal injury or damage. This includes taking up fitted carpets, fitted floor coverings or floorboards, moving heavy furniture, removing the contents of cupboards, wardrobes, and/or roof spaces, moving of valuable or delicate objects, etc., operating old, damaged, corroded or delicate fixtures and fittings, removing secured panels and/or hatches or undoing electrical fittings. The under-floor areas are inspected only where there is safe and clear access.

If necessary, the surveyor carries out parts of the inspection when standing at ground level from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The Surveyor uses equipment such as a moisture meter, binoculars and a torch, and may use a ladder or extended camera pole to obtain views of flat roofs, and to access hatches or obtain views no more than 3m above ground (outside) or above floor surfaces (inside) if it is safe to do so. The surveyor also carries out a desk-top study prior to the survey inspection and makes oral enquiries, where possible, for information about matters affecting the property.

### Services

Where possible, services will be checked for their normal operation in everyday use.

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests other than through their normal operation in everyday use. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources; the plumbing, heating or drainage installations (or whether they meet current regulations); or the internal condition of any chimney, boiler or other flue. Intermittent faults of services may not be apparent on the day of inspection. If any services (such as the boiler or mains water) are turned off, they are not turned on for safety reasons and the report will state that to be the case.

### Outside

The Surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can reasonably be obtained. Where there are restrictions to access, these are reported, and advice is given on any defects that may require further investigation. The Surveyor will not normally assume that access to neighbouring properties is granted, though may request permission for access if convenient to do so and considered necessary for a specific purpose, such as following the trail of suspicion to the source of a defect.

The surveyor does not carry out a survey to identify Japanese Knotweed, or other invasive plant species, though will conduct a general assessment of the grounds to locate large or obvious plants, shrubs or trees that could present a risk to the structural safety of the property.

The Surveyor assumes that no treatments or management plans are in place for the control of invasive species unless informed otherwise by the property owners, or their agents.

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HERE**1.2 - How the survey is carried out (contd)****Outbuildings**

Buildings with swimming pools and sports facilities are treated as permanent outbuildings and therefore are inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and associated equipment internally and externally, landscaping or other facilities (for example, tennis courts and temporary outbuildings).

**Flats**

When inspecting flats, the surveyor assesses the general condition of outside surfaces of the building, as well as its access and communal areas (for example, shared hallways and staircases) and roof spaces, but only if they are accessible from within the property or communal areas.

The Surveyor also inspects (within the identifiable boundary of the flat) drains, lifts, fire alarms and security systems, although the Surveyor does not carry out any specialist tests other than through their normal operation in everyday use. The Surveyor does not identify the nature, safety or suitability of any External Wall Systems or other forms of cladding.

**Hazardous substances, contamination and environmental issues**

Unless otherwise expressly stated in the report, the surveyor assumed that no harmful or dangerous materials or techniques have been used in the construction of the property. However, the surveyor will advise in the Report if, in his view, there is a likelihood that harmful or dangerous materials have been used in the construction and specific enquiries should be made or tests should be carried out by a specialist.

The surveyor makes desk-top and online investigations of free and publicly available information about contamination or other environmental dangers. The Surveyor will recommend further investigations if a problem is suspected.

The surveyor does not comment upon the possible existence of noxious substances, landfill or mineral extraction, or other forms of contamination other than in a general sense and if free and publicly available information is accessible.

**Asbestos**

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within the Control of Asbestos Regulations 2012. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in the regulations), and that in place are an asbestos register and an effective management plan which does not present a significant risk to health. The surveyor does not consult the dutyholder.

The Surveyor will indicate the presence of materials or surface coatings that are commonly known to contain asbestos, where they are clearly visible. However the surveyor will not undertake any tests to confirm whether they do contain asbestos. See also section 3.2

**Consents, approvals and searches**

The Surveyor is entitled to assume that the property is not subject to any unusual or onerous restrictions, obligations or covenants which apply to the Property or affect the reasonable enjoyment of the Property.

The Surveyor is entitled to assume that all planning, building regulations and other consents required in relation to the Property have been obtained. The Surveyor did not verify whether such consents have been obtained. Any enquiries should be made by the client or the client's legal advisers prior to exchange of contracts. Drawings and specifications were not inspected by the Surveyor unless otherwise previously agreed.

The Surveyor is entitled to assume that the property is unaffected by any matters which would be revealed by a Local Search and replies to the usual enquiries, or by a Statutory Notice, and that neither the Property, nor its condition, its use or its intended use, is or will be unlawful.

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## 1.2 - How the survey is carried out (contd)

### Assumptions

Unless we agree to a different approach with you, while preparing the report we will assume that:-

- The property (if for sale) is offered with vacant possession;
- The property is connected to mains services and you are aware of any matters to do with your right to access those services; and
- you are aware of and accept the basis on which you can access the property.

We will not be liable to you if we make an error or fail to tell you something in the report based on any of the above assumptions.

### Legal matters

The surveyor does not act as 'the legal adviser' and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report.

The report has been prepared by the Surveyor, who has the skills, knowledge and experience to survey and report on the property.

The report is provided for the use of the client(s) named on the front of the report and the Surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Nothing in these terms removes your right of cancellation under the Consumer Contracts Regulations 2013.

If the property is leasehold, the Surveyor gives you general advice and details of questions you should ask your legal advisers. This general advice is given towards the back of the report.

### Limitation of our liability

We will not be liable to you if we make an error or fail to tell you something in the report as a result of any of the following

- Our inability to inspect an area of the property; or
- Any reliance placed by us on information provided by you or by any person who provides such information on your behalf

If we fail to comply with the terms of this contract we are responsible for loss or damage you suffer that is a foreseeable result of our breaking this contract or our failing to use reasonable care and skill, but we are not responsible for any loss or damage that is not foreseeable. Loss or damage is foreseeable if either it is obvious that it will happen or if, at the time the contract was made, both we and you knew it might happen, for example, if you discussed it with us during the survey process.

### Our maximum liability

Our maximum liability to you for our negligence or any other breach or fault on our part arising in connection with the service shall be limited to the cost of your rectifying any defect in the property which under the terms of this contract we should have but did not notify you of or failed to adequately notify you of in the report.

We do not exclude or limit in any way our liability to you where it would be unlawful to do so. This includes liability for death or personal injury caused by our negligence or the negligence of our employees, agents or subcontractors; for fraud or fraudulent misrepresentation.



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## 1.3 - Condition Ratings

The report applies 'condition ratings' to the major parts of the main building, associated habitable structures, and other structures present. The property is broken down into separate elements, and each element has been given a condition rating 1, 2, 3, HS or NI – see more on definitions below.

To help describe the condition of the home, condition ratings are given to the main parts (the 'elements') of the building, garage, and some parts outside. Some elements can be made up of several different parts.

The condition ratings are described:-

### Condition Rating 1

Only minor or cosmetic repairs, or no repairs at all are currently needed. Normal maintenance must be carried out. It is anticipated any repairs identified would be rectified during a programme of normal maintenance, and you should budget accordingly.

### Condition Rating 2

Repairs or replacements are needed but these are not considered to be serious or urgent. However, you should obtain quotations for any works identified prior to exchange of contracts if purchasing the property.

### Condition Rating 3

These are defects which are either serious and/or require urgent repair or replacement or where it is felt that further investigation is required, for instance where there is reason to believe repair work is needed but an invasive investigation is required to confirm this. A serious defect is one which could lead to rapid deterioration in the property, or one where the building element has failed or where its imminent failure could lead to more serious structural damage. You should obtain quotes for additional work where a condition rating 3 is given, prior to exchange of contracts, if purchasing the property.

### Condition Rating HS

These are actual or potential health and safety risks identified at the property which you should consider carefully. In some instances a matter which has been identified will require specific testing of services such as electricity or gas to confirm that they are safe to use, but in other instances it may refer to hazards for which there is an increased risk of harm to those using the property. The level of risk may depend on a number of factors including the age, mobility and vulnerability of occupants. You should consider any health and safety measures identified within this report and commission any further tests or investigations prior to exchange of contracts if you are purchasing the property. You should also consider how the risks identified may affect your personal use of the property.

### Condition Rating NI

Not inspected. Indicates an element of the property that could not be inspected due to some restriction of access or view, or by previous arrangement.

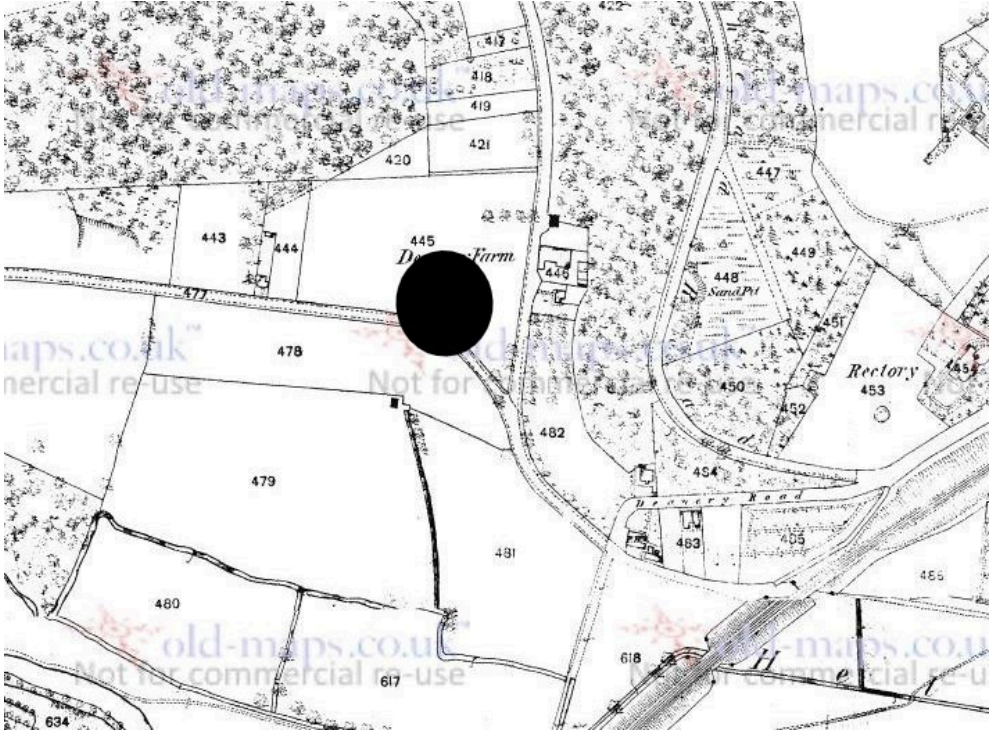
### Condition Rating NA

Not applicable – this element is not present at the property or is included within another section of the report.

Where the surveyor has identified that repairs, or further investigations, are required, you should obtain quotations and/or reports prior to exchange of contracts to ensure that you are aware of the cost of any works before you are committed to purchase the property.

|                              |                                                                                                                                                                            |  |
|------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| COMPANY<br>THUMBNAIL<br>HERE | Section - 1.4/1.5 - Additional Information for this Survey                                                                                                                 |  |
| Conflicts<br>of<br>Interest  | A conflict of interest is anything that impedes or might be perceived to impede an individual's or firm's ability to act impartially and in the best interest of a client. |  |
|                              | There are no known relevant conflicts of interest                                                                                                                          |  |
| Specific<br>Exclusions       | Areas which are excluded from the inspection and report by prior arrangement                                                                                               |  |
|                              | There are no areas of the property excluded from the extent of the inspection at the request of the client                                                                 |  |

| COMPANY<br>THUMBNAIL<br>HERE                    | <b>Section 2      Property information</b><br><b>2.1 - About the property</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|-------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Seller<br/>Information</b>                   | <p>THIS SAMPLE REPORT HAS BEEN CREATED TO PROVIDE AN EXAMPLE OF THE TYPE OF INFORMATION THAT MAY BE INCLUDED IN YOUR BUILDING SURVEY REPORT. THE INFORMATION AND IMAGES INCLUDED IN THIS REPORT HAVE BEEN ASSEMBLED FROM A RANGE OF PROPERTIES OF DIFFERENT TYPES, STYLES AND AGES, AND TEXT HAS BEEN ALTERED AND REDACTED SO AS TO DEMONSTRATE THE RANGE OF DETAIL THAT MAY BE INCLUDED IN INDIVIDUAL REPORTS. DETAILS THAT IDENTIFY THE EXAMPLE PROPERTIES HAVE BEEN REDACTED, REMOVED OR ALTERED.</p> <p>ALL TEXT AND IMAGES INCLUDED IN THIS SAMPLE REPORT (EXCEPT WHERE OBTAINED FROM PUBLICALLY ACCESSIBLE SOURCES) REMAIN THE PROPERTY OF, AND UNDER COPYRIGHT TO, SKYLINE SURVEYORS LTD AND MUST NOT BE COPIED OR REPRODUCED, IN ANY FORMAT, WITHOUT THE EXPRESS WRITTEN PERMISSION OF SKYLINE SURVEYORS LTD</p> <p>The property owners, Mr &amp; Mrs Smithers, were present for the duration of the survey and provided some information about the property and its' history. Although it is assumed that this information is true and accurate, no verification was carried out. You are therefore advised to confirm the accuracy of any such information prior to exchange of contracts.</p> <p>Mr Smithers indicated that they had purchased the property in 2012 and undertook a major refurbishment including replacement of the original flat roof that covered most of the building with a pitched roof, replacement of the remaining pitched roof covering, replacement of all main services, and replacement of all external windows and doors.</p>   |
| <b>General<br/>Construction<br/>Information</b> | <p>It is understood that the original part of the property, now occupied by the living room was constructed in the early part of the 20th century (Mr Smithers suggested 1908) and is believed to be of solid brick walls.</p> <p>Most of the remainder of the building is understood to have been constructed in around 1968 and is of cavity walls.</p> <p>All of the external walls have been clad with painted timber weatherboarding.</p> <p>In 2012 the current owners replaced the original flat roof, which covered most of the building, with a pitched roof covered in plain tiles, raising the roof level to create the area now occupied by bedroom 1 &amp; 2 and the galleried landing. All of this area is believed to be of timber frame construction.</p> <p>The only newly constructed area is believed to have been a wall linking from bedroom 2 to the hall, providing the area now occupied by the ground floor bathroom and staircase. This wall is believed to be of cavity construction.</p> <p>The windows and doors have engineered wood frames with double glazing.</p> <p>The ground floors are of solid construction while those on the first floor are of suspended timbers.</p> <p>The front of the house faces in a generally southerly direction.</p> <p>Room descriptions used in this report are based on those given on the plan included.</p> <p>Orientation (left-right, back-front) used in this report is based on the viewer standing at the road side of the property with their back to the road and facing the property.</p> |

|                                     |                                                                                                                                                   |
|-------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------|
|                                     |  <p>Map circa 1871</p>                                          |
| <b>Council Planning Information</b> | Information available on the Council planning website suggests that there have been no recent planning applications associated with the property. |

29 Sep 2025

|                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|-----------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Listing</b></p> | <p>The property has been Grade 2 listed since April 1981.</p> <p>A 'listed building' is a building, object or structure that has been judged to be of national importance in terms of architectural or historic interest and included on a special register, called the List of Buildings of Special Architectural or Historic Interest.</p> <p>When a building is listed, it is listed in its entirety, which means that both the exterior and the interior are protected. In addition, any object or structure fixed to the building, and any object or structure within the curtilage of the building, which although not fixed to the building, forms part of the land and has done so since before 1 July 1948, are treated as part of the listed building.</p> <p>Works to listed buildings are governed by listed building controls. The controls apply to any works for the demolition of a listed building, or for its alteration or extension, which is likely to affect its character as a building of special architectural or historical interest.</p> <p>This special form of control is intended to prevent the unrestricted demolition, alteration or extension of a listed building without the express consent of the local planning authority or the Secretary of State.</p> <p>Section 7 of the Planning (Listed Building and Conservation Areas) Act 1990 (LBCA Act) provides that, subject to certain provisions of the Act, no person shall execute or cause to be executed any works for the demolition of a listed building or for its alteration or extension in any manner which would affect its character as a building of special architectural or historic interest, unless the works are authorised. (Section 9 of the 1990 Act provides that if a person contravenes Section 7 he/she shall be guilty of an offence.)</p> <p>It is a criminal offence to carry out work which needs listed building consent without obtaining it beforehand.</p> <p>Common works requiring consent might include the replacement of windows or doors, knocking down internal walls, painting over brickwork or altering fireplaces.</p> <p>It is always advisable to take the advice of the conservation officer at your local authority to get a better idea about what it means for you.</p> <p>Further information is available at <a href="https://www.historicengland.org.uk/advice/your-home/">https://www.historicengland.org.uk/advice/your-home/</a></p> |
|-----------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Details

This list entry was subject to a Minor Amendment on 13 December 2021 to update text and reformat to current standards

SE 3/13

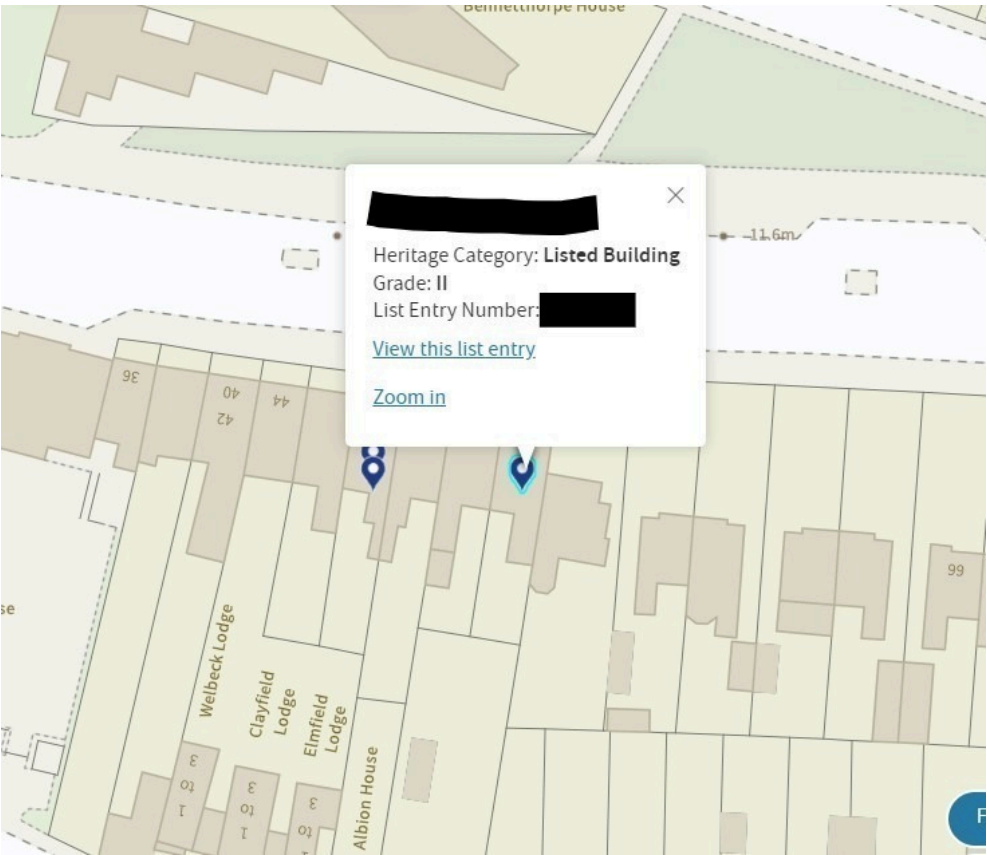
[REDACTED]  
(Formerly listed with 44-50 as 44-54 (even))

23.4.81

GV II

Pair of houses. Early C19 with later alterations. Red brick with brick and stone dressings and concrete tile roofs. Three storeys, each house two bays. Steps to paired central doorcase with pilastered jambs and continuous entablature, both houses with original six-fielded panelled doors and margin glazed overlights. Outer bays have early C20 square bay windows with transomed lights and moulded cornices on brick plinths. Continuous stone first-floor band, each house with two tall twelve-pane first-floor sashes beneath cambered brick arches. Above again similar arrangement of band and sashes. Wooden eaves board. Brick end stacks.

List entry



Listing

|                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|----------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Nature of the property when inspected</b> | The property was occupied, habitable and fully furnished.<br>All connected services were operational.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>Summary of mains services</b>             | Gas<br>Electricity<br>Water<br>Drainage (assumed)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| <b>Weather Conditions</b>                    | At the time of the survey the weather was dry and mild, approximately 8-14°C, after a period of mild and partly wet weather.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <b>Local Authority</b>                       | The property is within the area of Anytown Borough Council.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>Conservation / AONB / National Parks</b>  | <p>The property is not within a conservation area.</p> <p>The property is within the Any Downs National Park. Consequently there may be additional restrictions on development of, or changes to, the property. Not all building works, modifications or development plans require Planning Permission, however you should always seek clarification from your Local Authority however, before beginning any works. Further information is available at <a href="http://www.anydowns.gov.uk/planning/">http://www.anydowns.gov.uk/planning/</a></p> <p>The property is not within an Area of Outstanding Natural Beauty.</p> |
| <b>Heating</b>                               | <p>A full central heating system is installed with a gas fired condensing combination boiler supplying hot water to radiators throughout the property and providing hot water to taps.</p> <p>At the time of survey the boiler was activated and seen to be operating. The boiler was not inspected in detail and should be examined by a Gas Safe engineer in accordance with the manufacturers guidance.</p>                                                                                                                                                                                                               |
| <b>Outside facilities</b>                    | There is a shed in the back garden, a greenhouse adjacent to the shed and a garage attached to the left side of the house.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| <b>Renewable Energy Services</b>             | There are no sources of renewable energy installed at the property.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |

| Broadband Service | <p>Checks on the Ofcom website show that download speeds of up to 77Mb per second may be available.</p> <p>You are advised to confirm what services are available at the property prior to exchange of contracts and to ensure that these are suitable for your personal needs and requirements.</p> <div><div><div></div><div>Change location</div></div><div></div></div> <p>This table shows what broadband services are available in your area.</p> <table><tr><th></th><th>Highest available download speed</th><th>Highest available upload speed</th><th>Availability</th></tr><tr><td>Standard</td><td>5 Mbps</td><td>0.7 Mbps</td><td>✓</td></tr><tr><td>Superfast</td><td>77 Mbps</td><td>20 Mbps</td><td>✓</td></tr><tr><td>Ultrafast</td><td>--</td><td>--</td><td>✗</td></tr></table> <p>Ofcom broadband checker</p> |                                | Highest available download speed | Highest available upload speed | Availability | Standard | 5 Mbps | 0.7 Mbps | ✓ | Superfast | 77 Mbps | 20 Mbps | ✓ | Ultrafast | -- | -- | ✗ |
|-------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|----------------------------------|--------------------------------|--------------|----------|--------|----------|---|-----------|---------|---------|---|-----------|----|----|---|
|                   | Highest available download speed                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Highest available upload speed | Availability                     |                                |              |          |        |          |   |           |         |         |   |           |    |    |   |
| Standard          | 5 Mbps                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | 0.7 Mbps                       | ✓                                |                                |              |          |        |          |   |           |         |         |   |           |    |    |   |
| Superfast         | 77 Mbps                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | 20 Mbps                        | ✓                                |                                |              |          |        |          |   |           |         |         |   |           |    |    |   |
| Ultrafast         | --                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | --                             | ✗                                |                                |              |          |        |          |   |           |         |         |   |           |    |    |   |
| Tenure            | <p>The property is understood to be of leasehold tenure and with vacant possession but your conveyancer should confirm this to be the case.</p> <p>Please read section 8.5 for further advice.</p> <p>It is assumed that any leaseholder would be required to contribute towards the cost of repairs to the main building, including the outer walls, roof, chimney, gutters, joinery etc.</p> <p>Selecting the option for a leasehold property (Main Menu/Active Surveys/Edit Address) will inject some additional text regarding leasehold responsibilities into the top of sections 4 &amp; 5. as well as an extra section, 8.4, being added to the back of the report to highlight the potential legal implications of buying a leasehold property.</p>                                                                       |                                |                                  |                                |              |          |        |          |   |           |         |         |   |           |    |    |   |



| COMPANY<br>THUMBNAIL<br>HERE                                                                                                                  | <b>Section 2      Property information</b><br><b>2.2 - Summary and Issues</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|-----------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>This section is a summary of matters that are of particular interest but you should consider ALL information contained in this report.</p> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <b>General</b>                                                                                                                                | <p>Whilst the individual flat is in an average condition, the building itself is showing signs of ageing and will require some more significant maintenance and repair in the coming years. Externally the joinery at the edges of the roof is in a poorly maintained condition, and the slate roof covering is worn. A number of slates have been replaced, there are slipped slates present, and the entire covering is aged.</p> <p>Attempts have been made to treat dampness within the flat by the installation of at least one, and possibly two, chemical injected damp proof courses. As is often the case, these are largely ineffective and there is evidence of general dampness affecting the lower walls internally.</p> <p>The conservatory is a basic structure which is worn and probably reaching the end of it's normal expected service life. The floor is uneven and deflecting and the junction between the roof and main building is finished with a temporary flashing, probably due to previous leaks.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| <b>Main Issues</b>                                                                                                                            | <ol style="list-style-type: none"> <li>1. Main roof covering worn. See section 4.1.</li> <li>2. Dampness affecting internal walls. See section 5.3</li> <li>3. Conservatory is likely to have a limited life expectancy. See section 4.7.</li> </ol>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <b>Dampness Summary</b>                                                                                                                       | <p>Dampness can be categorised in a number of ways:-</p> <p>Rising dampness is where a damp proof course within the walls is either not present, has failed, or has been bridged. It is where ground based moisture rises up a wall to a maximum height of 1m.</p> <p>Penetrating dampness is where moisture penetrates from outside through a wall. It is usually caused by some failure, or defect, such as leaking gutters or worn brickwork.</p> <p>Cold bridging is where cold spots are created, for example, at the base of walls, often due to the proximity to another cold surface, such as a solid floor. Internal airborne moisture is then attracted to the cold spots.</p> <p>Condensation is moisture produced by washing, cooking and bathing etc., carried by the air as vapour, and which settles on colder surfaces, often around windows or on cold walls and ceilings, resulting in stains and mould growth. It is often present where there is a lack of good ventilation, heating and insulation.</p> <p>Moisture meter readings were taken internally at regular locations throughout the property where access and construction permitted. Locations included areas, for example, such as the internal face of external walls, party walls, floors, ceilings, chimney breasts, around windows, and in the loft space.</p> <p>Some higher than average moisture meter readings were recorded at the property, indicating that some dampness is present. See section 5.3.</p> |

|                                            |                                                                                                                                                                                                                      |
|--------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Structural Summary</b>                  | No evidence of structural movement was seen other than that which would normally be expected in any building of this age.<br>There are indications of unusual deflection of the conservatory floor. See section 4.7. |
| <b>Health &amp; Safety related matters</b> | There is no evidence of recent inspection of the electrical or heating systems, but certification may be available. See also 6.1 and 6.4.                                                                            |

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## 2.3 - External Photographs



Aerial view of the front



Front



Rear

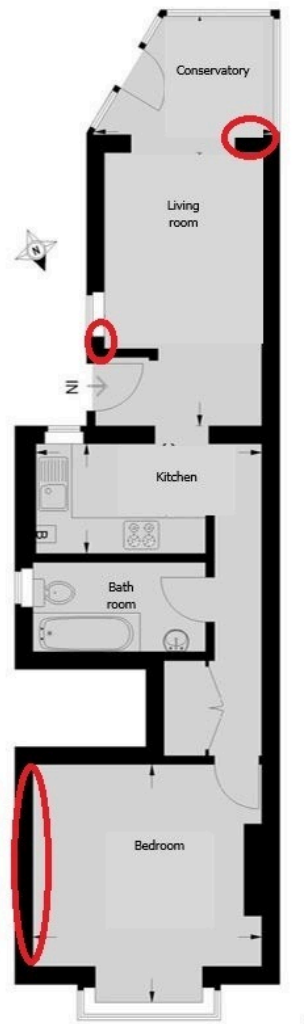


Aerial view of the back

| COMPANY<br>THUMBNAIL<br>HERE                                                                                   | 2.4 - Summary of Accommodation |          |                 |        |         |         |                            |       |                    |
|----------------------------------------------------------------------------------------------------------------|--------------------------------|----------|-----------------|--------|---------|---------|----------------------------|-------|--------------------|
|                                                                                                                | Reception<br>Rooms             | Bedrooms | Bath/<br>Shower | Sep WC | Kitchen | Utility | Conservatory<br>/ Sun room | Other | Integral<br>Garage |
| First Floor                                                                                                    |                                | 1        |                 | 1      |         |         |                            |       |                    |
| Entrance<br>Level                                                                                              | 1                              | 2        | 1               |        | 1       |         | 1                          |       |                    |
| The approximate living area of the property, excluding outbuildings, is 47m <sup>2</sup> (500ft <sup>2</sup> ) |                                |          |                 |        |         |         |                            |       |                    |

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## 2.5 - Floorplan



Floorplan

Areas highlighted in red indicate where high moisture readings were recorded, suggesting that dampness is present. Dampness is also likely to be present in other areas.

Floorplan for illustrative purposes only. Not to scale. Not to be used for estimating or measuring purposes



| COMPANY<br>THUMBNAIL<br>HERE                                                                                                                                                                                                                                                                                                                                                                                                                                             | 2.6 - Energy Performance |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|---------|-----------|-------|---------------|---------|-----------|-----|---|--|--|-------|---|--|--|-------|---|--|------|-------|---|------|--|-------|---|--|--|-------|---|--|--|------|---|--|--|
| <p>The Energy Performance Certificate (EPC) is obtained from the publicly accessible national database where one has been lodged. There may be no requirement for an EPC to be prepared for some property types and circumstances, in which case none is provided. The surveyor considers the contents of the EPC and provides information about energy efficiency measures that could be implemented.</p>                                                               |                          |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| <p>The Energy Performance Certificate (EPC) for the property, which was not prepared by me, shows a current efficiency rating of 68, band D. The potential rating is given as 74, band C.</p>                                                                                                                                                                                                                                                                            |                          |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| <p>The property already benefits from a modern boiler and efficient heating controls.</p>                                                                                                                                                                                                                                                                                                                                                                                |                          |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| <p>Due to it's nature and construction there are only very limited opportunities to improve the energy efficiency, that would not require major works and alterations.</p>                                                                                                                                                                                                                                                                                               |                          |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| <p>Before commencing any work you should ensure that all statutory permissions have been obtained for any changes you wish to make to your property.<br/>This is likely to include permission of the freeholder of the property (even if you own a share of the freehold).</p>                                                                                                                                                                                           |                          |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| <p>It is understood that the property is not subject to a Green Deal financing loan for energy efficiency improvements.</p>                                                                                                                                                                                                                                                                                                                                              |                          |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| <table><tr><th>Score</th><th>Energy rating</th><th>Current</th><th>Potential</th></tr><tr><td>92+</td><td>A</td><td></td><td></td></tr><tr><td>81-91</td><td>B</td><td></td><td></td></tr><tr><td>69-80</td><td>C</td><td></td><td>74 C</td></tr><tr><td>55-68</td><td>D</td><td>68 D</td><td></td></tr><tr><td>39-54</td><td>E</td><td></td><td></td></tr><tr><td>21-38</td><td>F</td><td></td><td></td></tr><tr><td>1-20</td><td>G</td><td></td><td></td></tr></table> |                          |         |           | Score | Energy rating | Current | Potential | 92+ | A |  |  | 81-91 | B |  |  | 69-80 | C |  | 74 C | 55-68 | D | 68 D |  | 39-54 | E |  |  | 21-38 | F |  |  | 1-20 | G |  |  |
| Score                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Energy rating            | Current | Potential |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| 92+                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | A                        |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| 81-91                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | B                        |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| 69-80                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | C                        |         | 74 C      |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| 55-68                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | D                        | 68 D    |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| 39-54                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | E                        |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| 21-38                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | F                        |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |
| 1-20                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | G                        |         |           |       |               |         |           |     |   |  |  |       |   |  |  |       |   |  |      |       |   |      |  |       |   |  |  |       |   |  |  |      |   |  |  |

### Features in this property

Features get a rating from very good to very poor, based on how energy efficient they are. Ratings are not based on how well features work or their condition.

Assumed ratings are based on the property's age and type. They are used for features the assessor could not inspect.

| Feature              | Description                                    | Rating    |
|----------------------|------------------------------------------------|-----------|
| Wall                 | Cavity wall, as built, no insulation (assumed) | Poor      |
| Window               | Fully double glazed                            | Average   |
| Main heating         | Boiler and radiators, mains gas                | Good      |
| Main heating control | Programmer, room thermostat and TRVs           | Good      |
| Hot water            | From main system                               | Good      |
| Lighting             | Low energy lighting in all fixed outlets       | Very good |
| Roof                 | (another dwelling above)                       | N/A       |
| Floor                | Solid, no insulation (assumed)                 | N/A       |
| Secondary heating    | None                                           | N/A       |



# Impact on the environment

This property’s environmental impact rating is D. It has the potential to be C.

Properties get a rating from A (best) to G (worst) on how much carbon dioxide (CO2) they produce each year.

## Carbon emissions

|                                             |                   |
|---------------------------------------------|-------------------|
| <b>An average household produces</b>        | 6 tonnes of CO2   |
| <b>This property produces</b>               | 2.4 tonnes of CO2 |
| <b>This property’s potential production</b> | 1.8 tonnes of CO2 |

You could improve this property’s CO2 emissions by making the suggested changes. This will help to protect the environment.

These ratings are based on assumptions about average occupancy and energy use. People living at the property may use different amounts of energy.

|                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <div>COMPANY<br/>THUMBNAIL<br/>HERE</div>                                                                                                                                                                                                                                                                                       | <div>Section 3 - Conveyancing, Health &amp; Safety and Environmental Matters</div> <div>3.1 - Conveyancing Related Matters</div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <div>This information should be highlighted to your conveyancer.</div> <div>This may not include all relevant issues but is an indication of those matters that were apparent to the surveyor, who is not legally qualified. Legal documents will not have been examined during the course of preparation of this report.</div> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <div>Extensions<br/>&amp;<br/>Alterations</div>                                                                                                                                                                                                                                                                                 | <div>Extensions: None noted</div> <div>Conservatory: A conservatory has been added to the rear of the property. As it opens directly into the living area, and is heated form the main heating system, building regulations approval may have been required.</div> <div>Loft Conversion: None noted</div> <div>New Boiler: A modern condensing boiler has been installed</div> <div>Chimney / Breast Removals: None noted</div> <div>Wall Removal: an internal wall has been removed between the house and conservatory.</div> <div>Post 2002 Windows: None noted</div> <div>Log Burner Installation: None noted</div> <div>Electrical Circuits: None noted</div> <div>Renewables: None noted</div> <div>Drainage: None Noted</div> <div data-bbox="394 1019 1383 1756"></div> <div>Wall between house and conservatory removed</div> |

|                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|-----------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Access &amp; Rights of way</b> | There is a shared access to the left side of the property.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <b>Easements &amp; Wayleaves</b>  | <p>In simple, but non-legal terms, an easement is the right of one landowner to make use of another nearby piece of land to gain access to a specific facility e.g. to cross another persons land to access a septic tank for emptying at intermittent intervals.</p> <p>A wayleave is a right for someone (usually a utility company) to take pipes, wires or cables across another's land.</p> <p>Nothing was seen at the site which suggested that such rights may exist, but you should check with your legal advisor who will have seen any relevant documentation. There may be some rights associated with access to the external areas of the first floor property.</p> |
| <b>Property Let</b>               | No issues were noted by the Surveyor.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <b>Tree Preservation Orders</b>   | No issues were noted by the Surveyor.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <b>Party Wall Award</b>           | No issues were noted by the Surveyor.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <b>Drainage</b>                   | No issues were noted by the Surveyor.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |

**Boundaries  
and Title  
Deeds**

The Land Registry holds a map, called the Title Plan, which is the Government's official register of the location of a property. Although it shows the boundaries of the property, normally in a red line, they are only an indication of the location of the boundaries and are not specific or highly accurate. The line drawn on the plan may be 1 mm wide at a scale of 1:1250, giving an accuracy of significantly less than 1 metre on the ground. In most cases this is the only official recognition of the boundaries of a property.

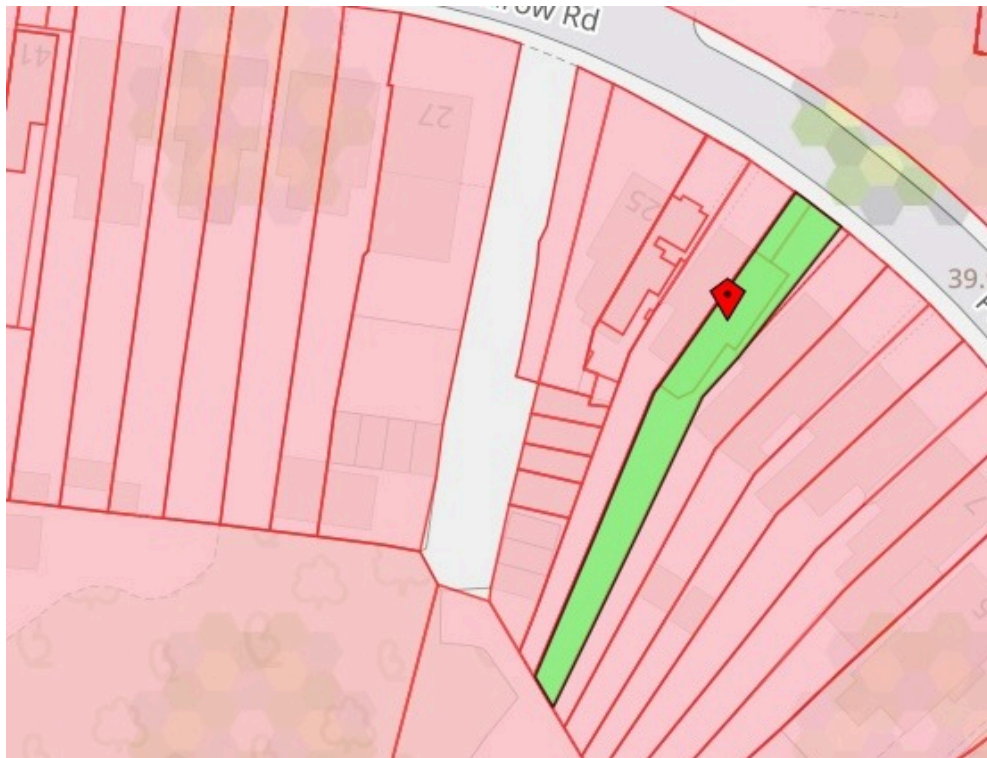
As such, it is impossible to determine whether a fence or wall is in the correct place. However, during the course of the survey an inspection was conducted to identify any obvious features which could suggest that the boundaries are not consistent with the general line identified on the title plan.

No issues were noted by the Surveyor and the boundaries defined around the site were found to be broadly consistent with those identified on the title plan.

There is no access, and no distinct boundary definition, in the area to the rear of the shed.

No detailed measurements were taken to establish the precise location of any boundary, and, if concerned, you should seek further advice from a boundary dispute specialist, particularly if planning to make alterations that might be immediately adjacent to, or affect, the boundaries. Determining the precise location of a boundary can be a very lengthy and expensive process, and can result in disputes arising between neighbours.

Similarly, the Land Registry title documents rarely indicate who is responsible for the maintenance, repair or replacement of a particular boundary fence or wall. And although existing neighbours may believe that an arrangement is officially recorded, it is usually the case that no such information is given within the title plan or register, and that most boundary fences and walls are of shared responsibility.



Mapsearch detail

|                                        |                                       |
|----------------------------------------|---------------------------------------|
| <b>Common<br/>and Shared<br/>Areas</b> | No issues were noted by the Surveyor. |
|----------------------------------------|---------------------------------------|

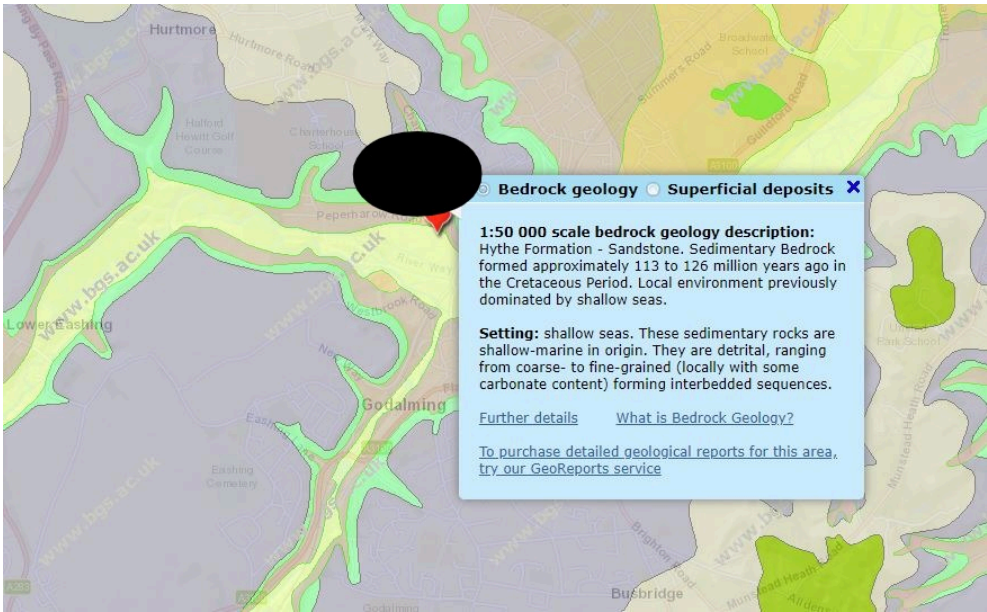
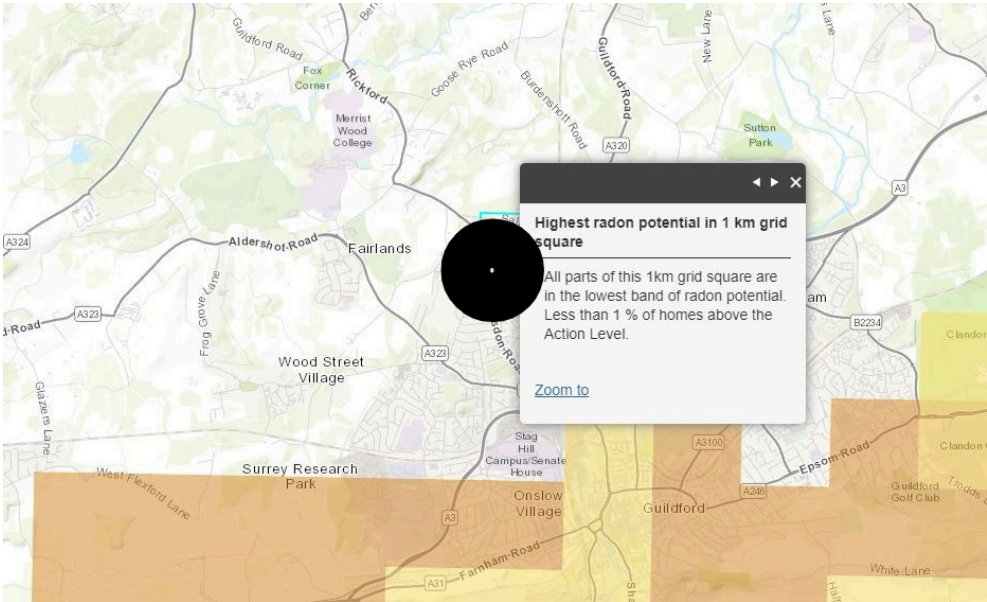
| COMPANY<br>THUMBNAIL<br>HERE                                                                                                                                                                              | 3.2 - Health & Safety related matters                                                                                                                                                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| A full Health & Safety risk assessment of the property and grounds was not conducted, however any matters noted during the survey which could increase the risk of accidents or injury are reported here. |                                                                                                                                                                                                     |
| <b>Fire Risk</b>                                                                                                                                                                                          | Although smoke alarms are fitted at the property they have not been tested. You should ensure that there are sufficient devices fitted at the property and that they are all in good working order. |
| <b>Safety Glass</b>                                                                                                                                                                                       | Glazing in the door between the living room and the hall is not marked as being safety glass. This could present a hazard, especially to the very young                                             |
| <b>Lead</b>                                                                                                                                                                                               | A visual inspection was carried out, however pipes buried within walls or beneath the ground were not inspected.                                                                                    |
| <b>Risk of Falls</b>                                                                                                                                                                                      | The wide spacing of the banister rails is a safety risk which could result in a child getting their head stuck.                                                                                     |
| <b>Unsafe Fittings</b>                                                                                                                                                                                    | No issues were noted by the Surveyor.<br>Fittings within the property, where possible, were checked for normal everyday use, but have not been inspected or tested for safety purposes.             |
| <b>Insect and Rodent Infestations</b>                                                                                                                                                                     | No issues were noted.                                                                                                                                                                               |
| <b>Recent testing of services</b>                                                                                                                                                                         | No verifiable documentary evidence of recent inspection of the electrical or gas/heating installations was seen at the time of the survey.                                                          |

29 Sep 2025

|                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|-----------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Asbestos</b> | <p>This report is not an asbestos inspection under the Control of Asbestos Regulations 2012 and no specific testing to detect the presence of asbestos has been conducted.</p> <p>No materials were identified as those commonly known to contain asbestos, however, no testing was carried out and no evidence was available as to what may be contained within concealed or inaccessible areas.</p> <p>The following should be noted:-<br/>No specific tests have been carried out to confirm the presence or absence of asbestos in any materials, and so any references are an assumption based on of the type and age of material seen.<br/>None of the materials seen were in a condition that would give any cause for concern, even were they to contain any asbestos.<br/>Asbestos only poses a risk where airborne fibres are present and none of the materials seen were seen to be damaged in a way that would release fibres.</p> <p>Asbestos containing materials were commonly used in the construction, conversion and refurbishment of houses in the 1950's-70's, though the use of asbestos was not completely prohibited until the 1990's. Many houses therefore include materials that contain asbestos and are lived in safely and without risk to health.<br/>However you should be aware that there are health risks when asbestos containing materials are drilled or sanded and you should consider this when carrying out any alterations, repairs or renovations.</p> |
|-----------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

|                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| COMPANY<br>THUMBNAIL<br>HERE                                                                                                                                                                                                                   | <h3>3.3 - Environmental Matters</h3>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| <p>A full environmental assessment of the property and grounds was not undertaken. Publicly available information is reproduced herewith, and may be supplemented by a more detailed search which can be commissioned by your conveyancer.</p> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <b>Flood</b>                                                                                                                                                                                                                                   | <p>The property is understood to be close to a river flood risk area.<br/>Further information can be obtained from <a href="https://flood-warning-information.service.gov.uk/long-term-flood-risk/">https://flood-warning-information.service.gov.uk/long-term-flood-risk/</a><br/>No specific information was obtained about the risks of pluvial flooding (rain related flooding, especially in urban areas).</p> <p>You should check with your insurers that cover is available for the property prior to exchange of contracts.</p> <p>Note that flooding can occur outside of designated flood risk areas. The Environment Agency are constantly updating their data to reflect any new incidents of flooding or increased risks of flooding. You should consult your legal advisor to consider the options for carrying out a more comprehensive environmental search.</p> <div><div><p>Yearly chance of flooding</p><div><div>Very low</div><div>Low</div><div>Medium</div><div>High</div></div></div><div><p>Yearly chance of flooding between 2040 and 2060</p><div><div>Very low</div><div>Low</div><div>Medium</div><div>High</div></div></div><div><p>What surface water is</p><p>Surface water flooding is sometimes known as flash flooding. It happens when rainwater cannot drain away through normal drainage systems.</p><p><a href="#">Why surface water flooding is a problem</a></p></div></div> <div><div><p>Rivers and the sea</p><p><a href="#">More about your rivers and sea flood risk</a></p></div><div><p>Yearly chance of flooding</p><div><div>Very low</div><div>Low</div><div>Medium</div><div>High</div></div></div><div><p>Yearly chance of flooding between 2036 and 2069</p><div><div>Very low</div><div>Low</div><div>Medium</div><div>High</div></div></div><div><p>What makes rivers and sea flooding more likely</p><p>Low-lying areas that are close to rivers or the sea are more likely to flood when water levels rise.</p><p>This information takes into account any flood defences.</p></div></div> <p>Flood risk low</p> |



|                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|----------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Geology</b> | <p>The property is located in an area where the ground is based on sandstone bedrock. No evidence was seen of any cracking, or other disturbance, which might be linked to seasonal ground movement.</p> <div data-bbox="392 360 1383 969"><p><b>Bedrock geology</b>    Superficial deposits</p><p><b>1:50 000 scale bedrock geology description:</b><br/>Hythe Formation - Sandstone. Sedimentary Bedrock formed approximately 113 to 126 million years ago in the Cretaceous Period. Local environment previously dominated by shallow seas.</p><p><b>Setting:</b> shallow seas. These sedimentary rocks are shallow-marine in origin. They are detrital, ranging from coarse- to fine-grained (locally with some carbonate content) forming interbedded sequences.</p><p><a href="#">Further details</a>    <a href="#">What is Bedrock Geology?</a></p><p><a href="#">To purchase detailed geological reports for this area, try our GeoReports service</a></p></div> <p>Sandstone bedrock</p> |
| <b>Radon</b>   | <p>It is understood that the property is not in a postcode area normally affected by high levels of naturally occurring Radon Gas emitted from the ground. You can obtain more information from UK radon, the reference site on radon from Public Health England at <a href="http://www.ukradon.org">www.ukradon.org</a></p> <div data-bbox="392 1223 1383 1823"><p><b>Highest radon potential in 1 km grid square</b></p><p>All parts of this 1km grid square are in the lowest band of radon potential. Less than 1 % of homes above the Action Level.</p><p><a href="#">Zoom to</a></p></div> <p>Radon risk low</p>                                                                                                                                                                                                                                                                                                                                                                           |

|                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|-------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Fracking</b>         | It is understood that the property is not located within an area that falls within a block of land offered by the Oil & Gas Authority (OGA) for applications to obtain a Petroleum Exploration and Development Licence (PEDL). Such licences may include permission to carry out fracking.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>Landfill</b>         | There is no evidence that the property is located on or immediately adjacent to a former landfill site.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <b>Invasive Species</b> | <p>Information available online suggests that there have been no reported instances of invasive plant species identified immediately adjacent to the property, though some have been reported within the general locality. However, such information is quite limited in its availability and scope and should not be relied upon as proof that no invasive plant species are present in, or around, the property.</p> <p>Invasive species include Japanese Knotweed (<i>Fallopia japonica</i>), Himalayan Balsam (<i>Impatiens glandulifera</i>) and Giant Hogweed (<i>Heracleum mantegazzianum</i>).</p> <p>Although no evidence of the presence of invasive plant species, such as Japanese Knotweed, was seen during the course of the survey, it can often be difficult to identify, especially where the gardens have been recently cut back or are overgrown.</p> <p>It should be noted that the area to the rear of the shed is inaccessible and significantly overgrown. It is, therefore, not possible to confirm that there are no invasive plant species present.</p> |
| <b>Mining</b>           | The property is not affected by matters related to mining.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |

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| COMPANY<br>THUMBNAIL<br>HERE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <h2>Section 4 - Outside of the Property</h2>        |
| <p><b>Scope of survey</b></p> <p>The following was carried out:-</p> <p>A visual non-invasive inspection of the outside of the main building and permanent outbuildings from various points within the boundaries of the property and from public areas such as footpaths and open spaces, without entering neighbouring private property unless permission had been expressly granted.</p> <p>High level features were inspected either from points within the property using binoculars, a ladder or other equipment, where safe to do so. A ladder, or other equipment, was used to view or photograph areas not visible from the ground.</p> <p>Because of the risk of falls or of causing damage, flat roofs were not walked upon.</p> |                                                     |
| <b>4.1</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Chimney Stacks</b>                               |
| <b>4.2</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Roof Coverings</b>                               |
| <b>4.3</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Rainwater and Above Ground Drainage Fittings</b> |
| <b>4.4</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Walls</b>                                        |
| <b>4.5</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Windows and External Doors</b>                   |
| <b>4.6</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>External Joinery and Finishes</b>                |
| <b>4.7</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>Conservatories and Porches</b>                   |

| COMPANY<br>THUMBNAIL<br>HERE                | 4.1 Chimney Stacks                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Condition<br>rating | 2 |
|---------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>          | <p>There is one chimney stack associated with the property, which is shared with the neighbouring property to the right side, being towards the front of the property.</p> <p>Within no.19 it is assumed that there is one flue linked to a chimney breast/fireplace in 19b on the first floor, and there is a flue linked to the chimney breast present in the bedroom in 19a.</p> <p>The stack is built of brick and has 4 clay pots.</p> <p>The flashing at the base of the stack at the junction with the roof slope is of cement mortar to the side of no.19.</p>                                                                                                                                                                                                                           |                     |   |
| <b>Nature of inspection and Limitations</b> | <p>The chimney stack was examined from ground level with the aid of binoculars, and with a camera on an extended pole, for possible defects including undue movement, distortion, chemical or weather related damage, brickwork, render and pointing damage and other evidence of failure.</p> <p>Due to limited viewing angles it is not possible to see all faces of the chimney stack from ground level, and it is assumed that the condition of those faces not visible is similar to that of the visible faces.</p>                                                                                                                                                                                                                                                                         |                     |   |
| <b>Condition</b>                            | <p>Although the chimney stack was found to be structurally stable, there is evidence of wear of the mortar pointing between the bricks, particularly to the left side. It is noted that the pointing has been renewed on the side of the stack over the neighbouring property to the right side.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                     |   |
| <b>Action Required</b>                      | <p>The stack requires some repointing to be carried out. Although this work is not considered to be of an urgent nature it will probably require completion within the forthcoming 3 years, and you should budget accordingly. The cost will be quite high as scaffolding will need to be erected.</p> <p>The chimney stacks should be regularly monitored for any indications of damage, instability or other defects. You should carry out a thorough visual inspection at least once a year, ideally in the Spring, and ideally at roof level, to identify and repair any damage that could have been caused by winter weather.</p> <p>Missing, loose or defective mortar should be repointed as necessary.</p> <p>It is advisable to fit cowls on the top of the pots of any open flues.</p> |                     |   |
| <b>Additional Information</b>               | <p>THE ADDITIONAL INFORMATION BOX WILL ONLY BE INCLUDED IN THE PUBLISHED REPORT IF TEXT IS INSERTED. OTHERWISE IT WILL NOT APPEAR AT ALL.</p> <p>YOU CAN INCLUDE, FOR EXAMPLE, REFERENCE TO THE CLIENTS REQUEST FOR ADVICE RE EXTENDING THE PROPERTY, OR WHERE THEY HAVE REQUESTED ADDITIONAL BACKGROUND INFORMATION</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                     |   |



Worn pointing on the left side



Stack to the right side



| COMPANY<br>THUMBNAIL<br>HERE                | 4.2 Roof Coverings                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Condition<br>rating | 3 |
|---------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>          | <p>The roof is formed from a main ridge running from front to back and with hips to the front and rear. Only the left side of the roof is over no.19.</p> <p>The rear addition roof intersects the rear hip and with a pitch facing to the left side, and there is a valley formed where the pitches intersect.</p> <p>All of the roof pitches are covered with slate and with clay ridge and hip tiles.</p>                                                                                                                                                                                                             |                     |   |
| <b>Nature of inspection and Limitations</b> | <p>The roof was examined from ground level with the aid of binoculars, and with a camera on an extended pole, for possible defects including sagging, collapse, broken/missing/damaged tiles, holes, and other evidence of failure.</p> <p>Parts of the main roof are not visible from ground level or any other vantage point available, and can only be reviewed from photographs recorded.</p>                                                                                                                                                                                                                        |                     |   |
| <b>Condition</b>                            | <p>No evidence was seen of unusual sagging or other movement which might indicate that the structure is failing.</p> <p>However, the roof covering, which is probably the one installed when the house was originally built, is very worn and close to the end of its normal expected service life.</p> <p>The presence of a large number of tingles, which are used to replace slates which have slipped due to failure of the nails holding them, suggests that many of the nails are now corroded and likely to fail in the near future. There are tingles and slipped slates present on all of the roof pitches.</p> |                     |   |
| <b>Action Required</b>                      | <p>Slate roofs have a lifespan of around 100 years and so it should not be unexpected that this roof is now close to the end of its expected service life.</p> <p>It is likely, therefore, that the entire roof will need replacing in the near future and that this work will be at the significant cost. You should budget accordingly.</p> <p>Whilst it is possible to continue replacing slipped slates, the number that have already been replaced is clear evidence that the roof is due for replacement.</p>                                                                                                      |                     |   |



View of front roof using pole camera



Slipped slates and tingles on the front and left side pitches



Slipped slates and tingle on the left side pitch

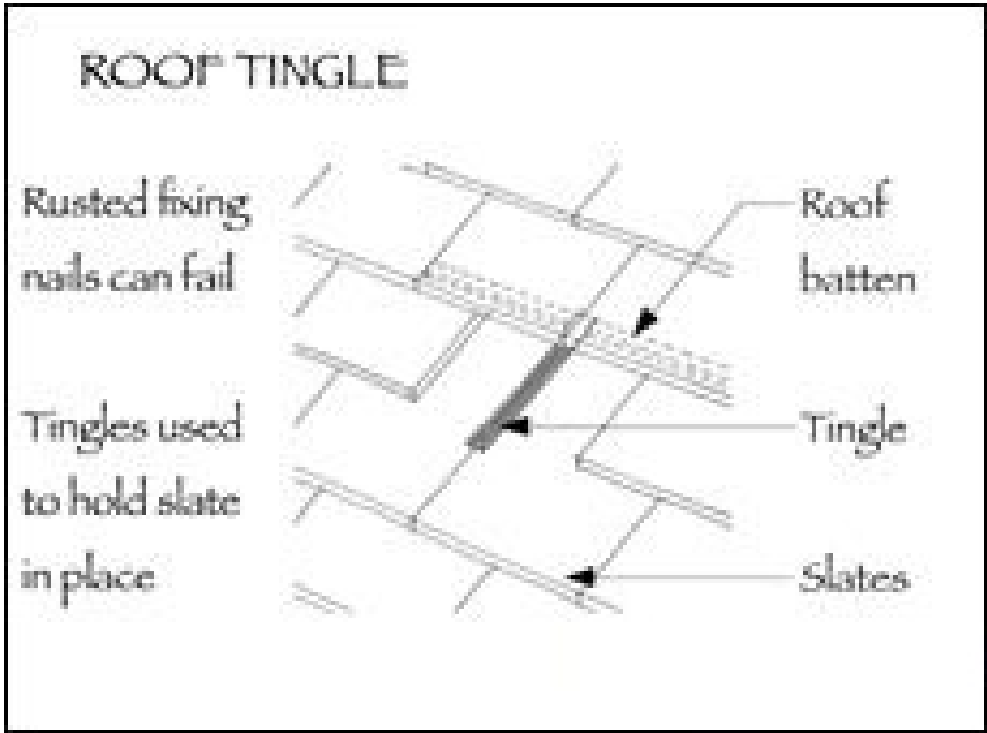


Slipped slates in the rear valley

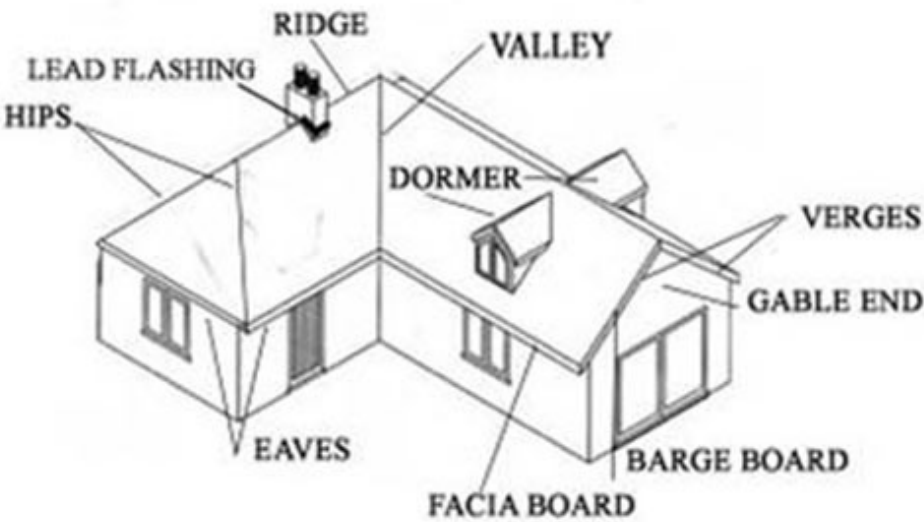




View of rear addition roof



Tingle



Roof Elements

| COMPANY<br>THUMBNAIL<br>HERE                | 4.3 Rainwater and Above Ground Drainage Fittings                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Condition<br>rating | 1 |
|---------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>          | <p>The rainwater gutters and downpipes are plastic.<br/>           Gullies and downpipes for rainwater are provided around the property and these drain to ground soakaways or into the mains drainage system.<br/>           Soakaways are usually stone filled pits which allow water to flow away in a controlled manner. As they are underground they are not visible and cannot be examined.<br/>           Waste and soil pipes manage the removal of waste water from the property to the drainage system. Waste ventilation stacks allow the waste water system to equalise pressure and direct harmful waste gasses above and away from the property.</p> |                     |   |
| <b>Nature of inspection and Limitations</b> | <p>An inspection was carried out from ground level with the aid of binoculars, and with a camera on an extended pole, to look for possible areas of leakage, misalignment, overflow and other defects.</p> <p>As it was dry at the time of survey no assessment could be made as to the effectiveness of the rainwater fittings.</p>                                                                                                                                                                                                                                                                                                                               |                     |   |
| <b>Condition</b>                            | <p>No significant defects were noted.<br/>           No evidence was seen of excessive staining of the walls or adjacent areas, which might indicate that significant leaks have been occurring.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                     |   |
| <b>Action Required</b>                      | <p>Gutters and downpipes should be cleaned and inspected regularly to ensure that they are free from blockages and leaks. They require examination for leaks during a period of rain.</p> <p>Climbing plants are prone to causing blockages in gutters and downpipes and should be removed from the area around the facilities on a regular basis.</p>                                                                                                                                                                                                                                                                                                             |                     |   |

| COMPANY<br>THUMBNAIL<br>HERE                            | 4.4 Walls                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Condition<br>rating | 1 |
|---------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | <p>The outside walls of the original house are brick faced and of solid construction. The bricks are laid in a Flemish bond style consistent with this type of construction. Parts of the wall around the front bay are finished with painted pebble dashed render. The outside walls of the rear extension are brick-faced and of cavity construction. The external leaf of brickwork is laid in a stretcher bond style consistent with this type of construction. The outside walls of the rear sun room extension are brick faced and are believed to be partly of solid construction, and, possibly, partly of cavity construction.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>The walls were examined from ground level with the aid of binoculars where necessary from vantage points within the grounds of the property and suitable public areas around. The walls were examined for signs of bowing or leaning, damaged brickwork, render and pointing, cracking, indications of subsidence and land failure and other defects.</p> <p>Where walls are covered with finishes such as render the wall surface beneath cannot be directly viewed and it is assumed that no unusual defects exist within these concealed areas.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                     |   |
| <b>Condition</b>                                        | <p>No significant defects were noted and the walls were found to be structurally stable. No evidence was seen of any cracking which might indicate that the property is subject to subsidence, unusual settlement, or other exceptional movement of the ground. No evidence was seen of any unusual wear of the brick work or mortar pointing between the bricks.</p> <p>In most walls there is a damp proof course (DPC) just above ground level. This is an impervious layer present to prevent dampness rising up the walls from the ground. In modern properties this is often a plastic membrane but in older properties other materials such as bitumen felt or slate are often found. Houses built before 1880, or so, usually have no provision to prevent dampness rising up, or penetrating through, the walls. In this case there is no evidence of a DPC having been included in the walls when they were originally built, though it is likely that, based on the age of the property, a slate DPC would have been included. However, clearly, in the past, dampness has been recorded within the property and, as a consequence, at least one, and possibly 2, injected chemical DPCs have been installed. These are evidenced by a series of filled drill holes towards the bottom of the walls. However, as indicated in section 5.3, not untypically, these damp proof courses are largely ineffective, and there is still dampness present in the property.</p> <p>Air bricks visible around the property suggest that the floor would originally have been of suspended timbers, but has since been replaced by a solid concrete floor. It is quite probably the case that the installation of a solid floor is largely responsible for the dampness recorded within the property. See section 5.3 And 5.4.</p> |                     |   |
| <b>Action<br/>Required</b>                              | <p>Walls should be examined regularly to inspect for changes in the nature of any cracking or other defects that may become apparent. You should carry out a thorough visual inspection at least once a year, ideally in the Spring to identify and repair any damage that could have been caused by winter weather.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                     |   |



Double layer of injected DPC to the right of the bay at the front

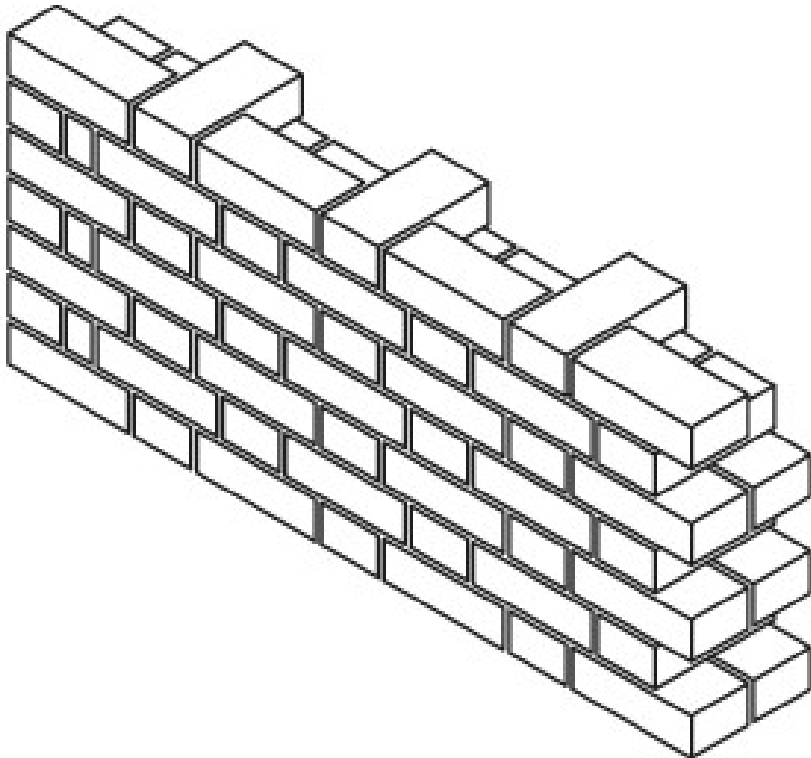


Injected DPC holes on the left side wall





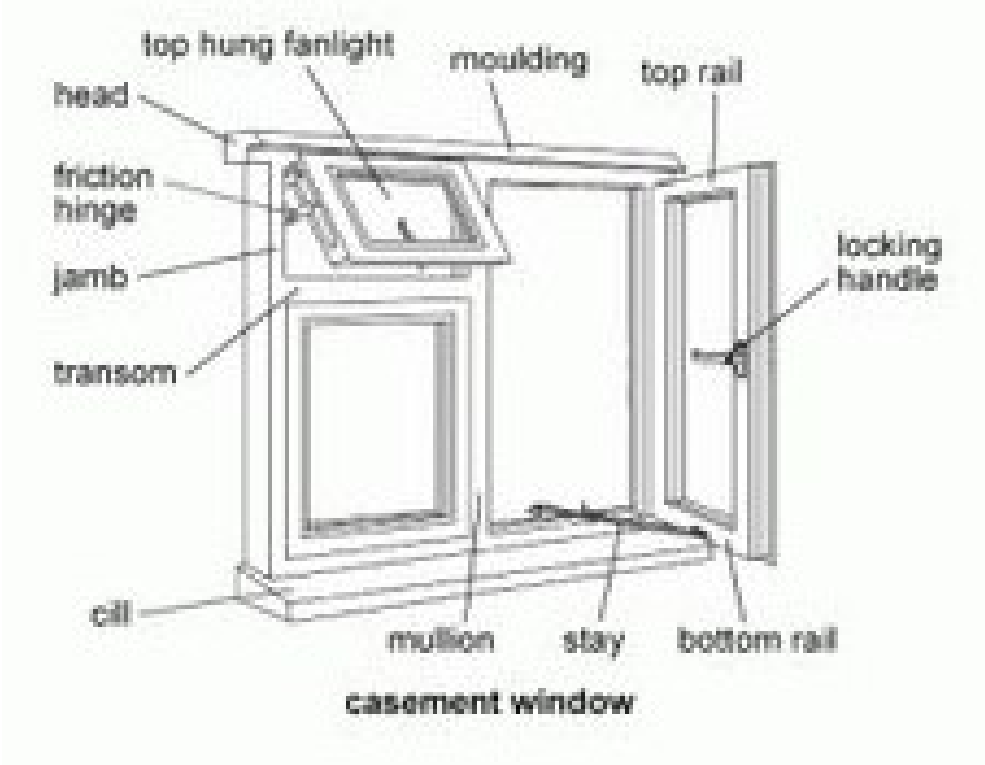
Air bricks on the left side wall



Flemish bond



| COMPANY<br>THUMBNAIL<br>HERE                            | 4.5 Windows and External Doors                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Condition<br>rating | 1 |
|---------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | <p>The windows are double glazed with uPVC frames and are of a top or side hung casement type.<br/> All of the windows checked were fitted with individual key operated locks.<br/> The external doors are uPVC.<br/> The front door (to the left side of the house) is of a composite construction and fitted with a multipoint locking system.<br/> The French doors leading from the sun room have PVC frames with double glazing and are also fitted with a multipoint locking system.</p>                                                                                                                                                                                                                                                                              |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>Windows were examined for general signs of degradation and failure including blown double glazing units. A selection of windows was opened and checked for normal operation.<br/> The specific weather conditions at the time of survey could disguise evidence of blown double glazed units.<br/> Window and door locks were not checked for operation or security. You should ensure that keys are available for all locks.<br/> External doors were checked for normal operation and signs of failure or damage.<br/> Some windows could not be accessed due to the presence of furniture and other possessions.</p>                                                                                                                                                  |                     |   |
| <b>Condition</b>                                        | <p>No significant defects were noted and all of the windows and doors checked were found to operate normally.<br/> No evidence was seen of any failed sealed glazing units, though other weather conditions may highlight their presence.</p> <p>Under normal circumstances sealed double glazed units can be expected to last between 15-20 years before the seals begin to fail. This can occur more quickly where windows are in exposed or vulnerable situations.<br/> It is estimated that most of the windows currently fitted are approximately 15-20 years old and so it can be expected that some wear and failures will be experienced in the coming years.</p>                                                                                                   |                     |   |
| <b>Action<br/>Required</b>                              | <p>Normal maintenance of frames, hinges and locks is required.</p> <p>Windows and doors that have been installed during and after 2002 may require FENSA certificates or building regulations approval. Your conveyancer should confirm if these are applicable.</p> <p>Be aware that previous owners may have distributed multiple sets of keys for the windows and doors to individuals not known to you. When purchasing a property you should consider the cost of replacing all of the door and window locks as soon as possible after you take up occupation. When doing this you should consult your insurers to ensure that you meet their requirements for security, and obtain any discounts that may be available by improving the security of the property.</p> |                     |   |



Example of casement window style

| COMPANY<br>THUMBNAIL<br>HERE                            | 4.6 External Joinery and Finishes                                                                                                                                                                                                                                                                                                                                                                          | Condition<br>rating | 2 |
|---------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | <p>This includes such items as woodwork at the roof edges, trim panels and any timber porch/canopy.<br/>           Soffits are the horizontal timbers joining the fascia boards to the house walls.<br/>           Fascia boards are the vertical timbers to which the gutters are normally fixed.<br/>           Barge boards are the diagonal boards at the roof edge on the gable end of the house.</p> |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>All such materials were examined from ground level and with the aid of binoculars from vantage points within the grounds of the property and suitable public areas around. Decorations were examined for indications of poor maintenance, rot and other defects.</p>                                                                                                                                    |                     |   |
| <b>Condition</b>                                        | <p>No significant defects were noted.<br/>           However, all of the external joinery is in a poorly maintained condition, and unless redecorated in the near future, it is likely that rot will begin to appear.</p>                                                                                                                                                                                  |                     |   |
| <b>Action<br/>Required</b>                              | <p>All of the external joinery requires redecoration. This work should be carried out within the first 12 months of occupancy of the property.</p>                                                                                                                                                                                                                                                         |                     |   |
|                                                         | <div data-bbox="379 981 1369 1720">  </div> <p>Poorly maintained soffit at the front</p>                                                                                                                                                                                                                                |                     |   |



Poorly maintained soffit on the left side



Eaves detail

| COMPANY<br>THUMBNAIL<br>HERE                            | 4.7 Conservatories and Porches                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Condition<br>rating | 3 |
|---------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | The conservatory is constructed from uPVC framed windows and has a polycarbonate roof.<br>The floor may be of solid concrete.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | The conservatory was examined for indications of leaking, bowing, leaning, cracking and undue movement, failure or damage of the floor, walls and roof, separation from the main building, and other defects.<br>The windows and the door were checked for normal operation. Moisture meter readings were taken at regular intervals where access and wall construction/location permitted.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                     |   |
| <b>Condition</b>                                        | <p>The conservatory is in a poor condition and can be expected to have only a very limited lifespan.</p> <p>Where the conservatory roof meets the main wall of the house, an adhesive “Flashband” has been used to seal the joint. While this may provide resistance to leaks for a short period, it should be considered as a temporary flashing material which is likely to deteriorate over a period of time. It may be that the Flashband has been fitted over an existing flashing that had failed.</p> <p>Internally, the wall adjacent to the living room is very damp and there is evidence that it has been patchy repaired, particularly to the right side where very high moisture readings were recorded. This may, alternatively, be the result of leaking from the roof junction above.</p> <p>The floor slopes noticeably upwards towards the left side the junction with the house. The exact nature of the floor construction could not be determined, but there is evidence that the entire floor may be inadequately constructed or supported.</p> <p>Access to the conservatory is gained by an open wall section with no external quality doors between the two parts. As this is open, building regulation approval may have been required in addition to any planning approvals gained. Your Legal advisor should check these matters during the conveyancing process.</p> |                     |   |
| <b>Action<br/>Required</b>                              | <p>The evidence suggests that the conservatory is probably at the end of its useful life. As a minimum the flashing between the roof and the house requires replacement with an inset lead flashing, and the floor covering should be removed to allow for further inspection of the floor structure, to determine whether it is in a serviceable condition.</p> <p>Parts of the wall finish will also need to be removed to allow for investigation of pathways by which dampness is affecting the internal wall.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                     |   |





Flashband flashing



Area of dampness





High moisture reading in the conservatory



Floor slopes up to the junction with the house

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                     |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------|
| <p>COMPANY<br/>THUMBNAIL<br/>HERE</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <h2>Section 5 - Inside the Property</h2>            |
| <p><b>Scope of survey</b></p> <p>The following was carried out:-</p> <p>A visual non-invasive inspection of all the parts of the property that can be seen without causing damage to the fabric or any fixtures, fittings, possessions or furnishings present at the time of inspection.</p> <p>Checks for damp using a moisture-measuring meter where possible.</p> <p>Inspection of the roof structure from inside the roof space where it was safe to access and move around the roof space, but insulation material, stored goods and other contents were not moved or lifted.</p> <p>Floor surfaces were inspected where readily and safely accessible, but fitted floor coverings and furniture were not moved.</p> <p>Sound insulation or noise is not commented on.</p> <p>Personal possessions, including those within cupboards and wardrobes, for example, pictures, mirrors, furniture, and other valuable or delicate objects were not moved.</p> <p>Secured panels and/or hatches were not removed.</p> |                                                     |
| <p><b>5.1</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Roof Spaces</b></p>                           |
| <p><b>5.2</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Ceilings</b></p>                              |
| <p><b>5.3</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Walls</b></p>                                 |
| <p><b>5.4</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Floors</b></p>                                |
| <p><b>5.5</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Chimney Breasts, Fireplaces and Flues</b></p> |
| <p><b>5.6</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Built-In Fittings</b></p>                     |
| <p><b>5.7</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Internal Joinery</b></p>                      |
| <p><b>5.8</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Bathroom and Sanitary Fittings</b></p>        |
| <p><b>5.9</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Loft Conversions</b></p>                      |

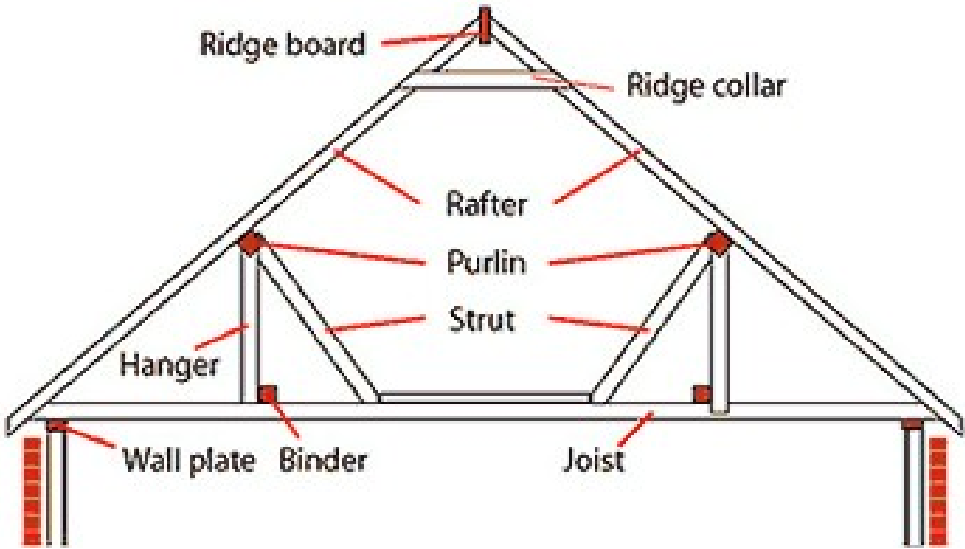
| COMPANY<br>THUMBNAIL<br>HERE                            | 5.1 Roof Spaces                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Condition<br>rating | 2 |
|---------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | <p>The main roof space is accessed from a hatch in the ceiling of the landing. There is a loft ladder fitted.<br/>           A pole and hook for releasing the hatch and ladder was present.<br/>           It is constructed of individual timbers in a traditional style.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>The roof space was examined for signs of bowing, twisting, cracking and failure of roof timbers, signs of failure or damage to the roof covering, infestation including birds, insects and animals, and other defects including dampness and structural failure. A representative selection of timbers was examined more closely for infestations by wood boring insects (such as Common Furniture Beetle and Death Watch Beetle), though it must be noted that within a general survey it is not physically possible to inspect every timber in sufficient detail to provide conclusive proof of the presence or absence of such infestations. The roof space was further investigated for the presence of adequate ventilation and suitable fire walls where applicable.</p> <p>Wood Moisture Equivalent readings were taken from timbers in a selection of representative locations to determine whether moisture levels within the roof space were above average. Normally approximately 6-8 readings will be obtained.</p> <p>Due to floor boarding in the loft area being unstable, movement was restricted to areas that could be identified as being completely safe.</p> <p>The structures of the roofs of the kitchen and bathroom extensions are not accessible and cannot be assessed.</p> |                     |   |

|                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|-------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Condition</b></p> | <p>No significant defects were noted during my inspection and the roof was found to be structurally sound.</p> <p>No evidence was seen of any unusual movement or stress of the supporting timbers within the roof.</p> <p>Beneath the floorboards are a number of steel I-beams, though their full extent was covered by boarding. The reason for their presence is not fully known, and it is also unclear as to whether they provide any support to the chimney breast which has been removed below first floor ceiling level.</p> <p>There is also some additional steel support provided for the rear purlin (horizontal supporting timber), probably to provide additional support when the roof covering was changed from slate to the heavier tiles.</p> <p>Floor boarding in the roof space was found to be unstable and unfixed. Extreme care should be exercised when moving around and, ideally, boarding would be secured properly.</p> <p>To the right side the roof has been separated from that of its adjacent neighbour by a concrete block fire resistant wall. To the left side the separation is provided by a fibrous material barrier. As the nature of the material used is not known it is impossible to confirm whether this wall provides adequate protection from the spread of fire. Some further investigation should be carried out, by way of enquiries of the sellers, to confirm the nature of the barrier installed.</p> <p>Between the outer tile covering and the inner timbers is an underlining, sometimes called "sarking". It is present to provide an additional weather-proofing layer to moisture, snow and rain etc. that may be blown past the outer covering. In older properties it may not be present at all. Typically, in the 1920's the sarking is of timber planks. Later properties often have a layer of bituminised felt, while in modern properties a breathable membrane, such as Tyvek, is normally used. In this case the sarking is of bitumen felt under both the front and the rear roof pitches. This suggests that the roof has been relaid as it is very likely that, when the house was built, there was no lining to the roof. The nature of the lining suggests that any work of this nature was probably carried out at least 30-40 years ago.</p> <p>It was found to be in a mostly undamaged condition and is considered to be suitable for its purpose.</p> <p>In visible areas, the roof space is laid with 50-75mm of vermiculite insulation. This is less than the current recommendation of 270mm for maximum energy efficiency, though the boarding and steel structure may prevent the inclusion of more insulation.</p> <p>Some vermiculite insulation can contain small amounts of asbestos. See section 3.2.</p> <p>High moisture levels within roof spaces are responsible for the promotion of the development of timber defects such as rot and infestations by wood boring insects (commonly known as woodworm). Wood moisture content readings taken were mostly found to be within normal limits and below the levels normally required for this type of defect. Some of the readings recorded were at the very upper end of safe limits but, in general, most were quite normal. Based on the evidence, it is not believed that there is a significant issue of moisture within the roof space, though there is evidence of a general lack of ventilation.</p> |
|-------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

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|-------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Action Required</b>        | <p>Make enquiries to determine the nature of the fire resistant barrier installed to the left side as there is no indication of whether this is a suitable or acceptable installation. This is considered to be an urgent and important matter.</p> <p>No specific repairs are required other than to try and include some additional ventilation within the roof space, perhaps by way of roof tile vents. This would help to manage moisture levels within the roof more efficiently. It is important to ensure that spaces remain well ventilated so as to reduce the likelihood of the development of defects such as rot and infestations by wood boring insects.</p> <p>If installing extractor fans, make sure that hoses passing through the roof space extend to an external grille so that warm moist air is not ventilated into the roof.</p> <p>Care should be taken when moving around, or storing heavy objects, in the roof space. The spaces between the floor joists will not support a person's weight, or that of large boxes etc. Floor boarding should be properly secured and fixed.</p> <p>Although no evidence was seen to indicate that the steel beams visible within the roof space are the cause of any defect or concern, it would be prudent to carry out a more detailed inspection, including removal of the floor boarding, to understand why the beams are present and what function they provide.</p> |
| <b>Additional Information</b> | <p>Although no evidence of active infestations of wood boring insects was identified, it is important to remain vigilant and be aware that such infestations can become active after long periods of inactivity.</p> <p>It is essential that you regularly (every 3 to 4 months) monitor timbers for evidence of wood boring insects and other such infestations, and it is recommended that you familiarise yourself with the types of infestations that can occur.</p> <p>Adult beetles burrow out of infected timber usually between May and September, so it is during this period that you are most likely to find small holes surrounded by frass where an active infestation exists.</p> <p>Where frass is found you should consult a timber preservation specialist.</p> <p>In most cases the best treatment for eradication of such infestations is the removal of moisture sources, usually by increasing ventilation within the affected areas. In historic properties the use of chemicals to treat infestations of this type is not usually recommended.</p>                                                                                                                                                                                                                                                                                                                                                                |



Underside of front pitch



Traditional roof construction





Normal moisture readings recorded

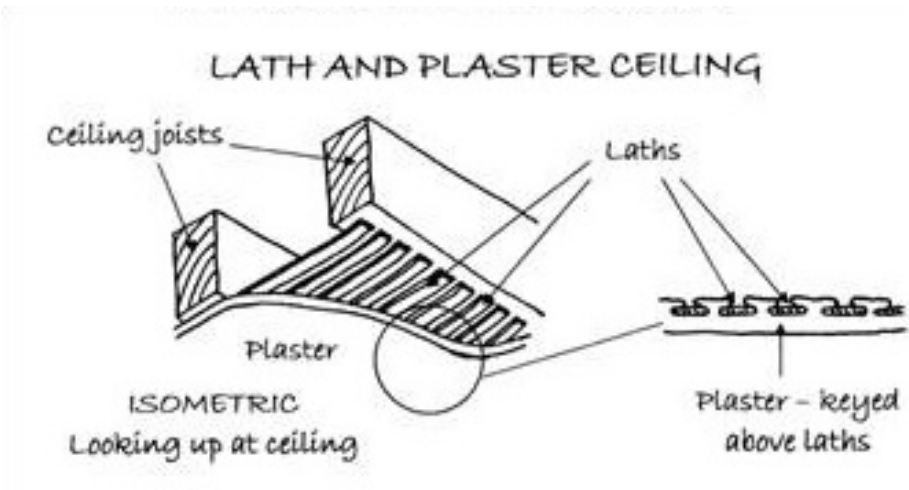


Fibrous material forming fire wall



Loose floor boards

| COMPANY<br>THUMBNAIL<br>HERE                            | 5.2 Ceilings                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Condition<br>rating | 1 |
|---------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | Many of the ceilings are likely to be made of the original lath and plaster, though others may have been replaced or over boarded with more modern plasterboard.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | They were examined for signs of bowing, cracking, staining and other defects.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                     |   |
| <b>Condition</b>                                        | <p>No significant defects were noted.</p> <p>No evidence was seen of any unusual unevenness, cracking, bowing or other failure.</p> <p>In some locations there is evidence of repairs and alterations having been carried out that have resulted in uneven finishes.</p> <p>Ceilings within the property have a textured finish. Some textured ceiling finishes can contain asbestos and should not be drilled or sanded without protective equipment and/or specialist advice.</p> <p>Any such materials that do contain asbestos are harmless unless airborne fibres are present.</p> <p>At the time of the survey no areas of flaking, powdering or similarly damaged material were noted indicating that no specific risk currently exists.</p> <p>Painting or plaster skimming of textured surfaces normally ensures that any asbestos fibres are securely encapsulated and will not present any risk to health if undisturbed.</p> |                     |   |
| <b>Action<br/>Required</b>                              | <p>Normal maintenance is required, including filling and redecorating cracks as necessary.</p> <p>Lath and plaster ceilings which have remained in place for many years may become unstable over the course of time as the plaster loses its key to the laths. Often it is difficult to identify such instability without performing destructive checks to assess the security of the surface of the ceiling. Whilst it is not possible to carry out these checks during the course of a visual survey, it is recommended that you assess the stability of the ceilings by checking them for areas of loose surface plaster, or undue movement when pressed.</p>                                                                                                                                                                                                                                                                         |                     |   |



Lath and plaster ceiling

| COMPANY<br>THUMBNAIL<br>HERE                            | 5.3 Walls                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Condition<br>rating | 1 |
|---------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | Internal walls are primarily of solid masonry construction.<br>The inside faces of some of the external walls have been dry-lined.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>The walls were examined for indications of bowing, leaning, cracking and undue surface failure/damage.<br/>Moisture meter readings were taken at regular intervals where access and wall construction/location permitted. Readings are normally taken at approximately one metre intervals horizontally and vertically, where access allows.</p> <p>Moisture meter readings can only provide a guide as to the presence of dampness and the recording of high readings can be affected by other factors, for example metallised wall finishes, chemical salts within internal plaster, or reactive materials below the plaster surface. A definitive and complete diagnosis for the presence of dampness, and the cause, will involve further testing requiring invasive methods that will cause some damage to the wall surfaces.</p> <p>Moisture meter readings could not be obtained due to dry lining of the internal faces of some of the external walls.<br/>Where walls have been dry-lined, or are of timber stud or lath and plaster construction, as indicated, it is not possible to obtain moisture meter readings that might indicate whether dampness is present behind the finished decorated surfaces. Sometimes defects can exist within these areas but which are not apparent during a visual inspection.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                     |   |
| <b>Condition</b>                                        | <p>No significant defects were noted during my inspection and the internal walls were found to be structurally sound.<br/>No evidence was seen of any cracking which might indicate that the property is subject to subsidence or unusual settlement.<br/>High moisture readings, probably indicating the presence of rising and penetrating dampness, were recorded in a number of locations, though it is likely that they would have also have been recorded in other areas, which were inaccessible at the time of the survey.<br/>Although there is some localised unevenness of the walls, no significant areas of staining or other damp related damage was noted.<br/>As indicated in section 4.4, attempts to prevent dampness have been made by injecting chemical damp proof courses into the outer walls, though these have clearly been ineffective. It is also noted that the original suspended timber floors have been replaced with solid floors, and it is possible that the way that these floors were installed has created a pathway by which moisture can travel to the inside faces of the external walls.<br/>Whilst the dampness will result in localised areas of damage from time to time, if the house is heated and ventilated on a regular basis, it is unlikely that this will cause a major problem.</p> <p>As is common in most properties, there is some general light cracking of the internal wall finishes.<br/>Cracking in the walls of buildings is categorised, in structural terms, by the Building Research Establishment Directive 251.</p> <p>All of the cracking seen around the property would fall into the lowest categories indicating that it is of cosmetic concern only and is not symptomatic of any serious defect such as subsidence or unusual settlement of the ground beneath the house. The most likely cause is the normal thermal and mechanical movement of the building materials that occurs naturally.</p> |                     |   |

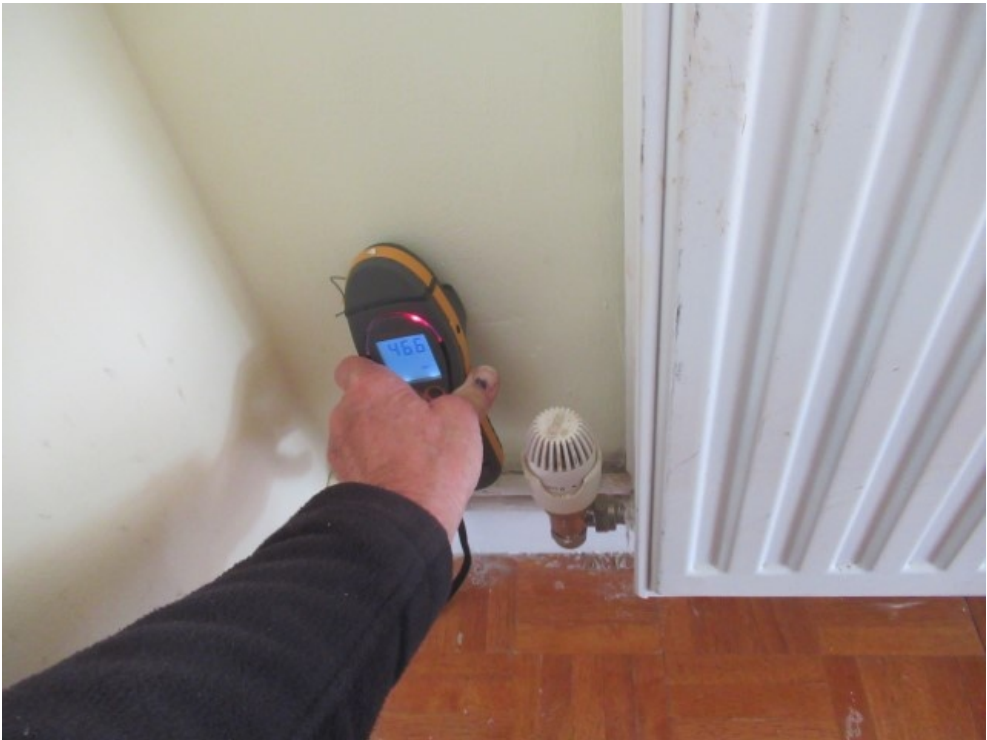


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|-------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Action Required</b>        | <p>Normal maintenance is required, including filling and redecorating cracks as necessary. You should anticipate that there will be some localised damaged to decorations and furnishings as a result of dampness present in the outer walls, and you should ensure that the property is heated and ventilated on a regular basis to minimise the impact.</p> <p>As part of the legal process, your legal adviser should contact building control and obtain any records of any notifiable works completed.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>Additional Information</b> | <p>No evidence of any specific problems associated with excessive condensation were noted. However, condensation may be a problem for one occupier where it was not for the previous one. It can often be controlled by careful management of heating and ventilation rather than by physical works. The control of condensation involves maintaining surface temperatures above the dew point (the humidity related temperature at which water vapour turns into moisture), and the provision of adequate thermal insulation and proper ventilation. Unfortunately, the modern emphasis on draught proofing reduces ventilation in dwellings, increasing the risk of condensation. The extent of condensation in a dwelling will depend not only on its orientation and construction, but on variable factors such as weather conditions, lifestyle, and how the property is heated and ventilated. It is important that moisture producing rooms, such as kitchens, bathrooms and utilities, are adequately heated and ventilated at all times to prevent future problems.</p> |
|                               | <div></div> <p>High moisture reading on the left side wall of the bedroom</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |

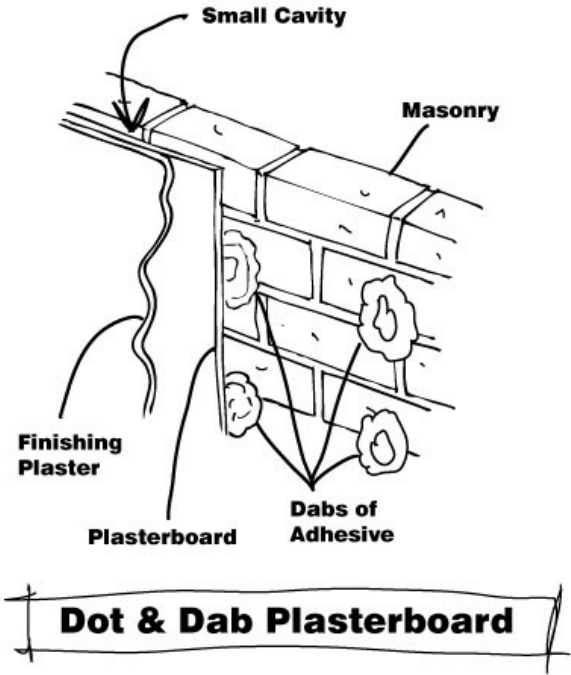




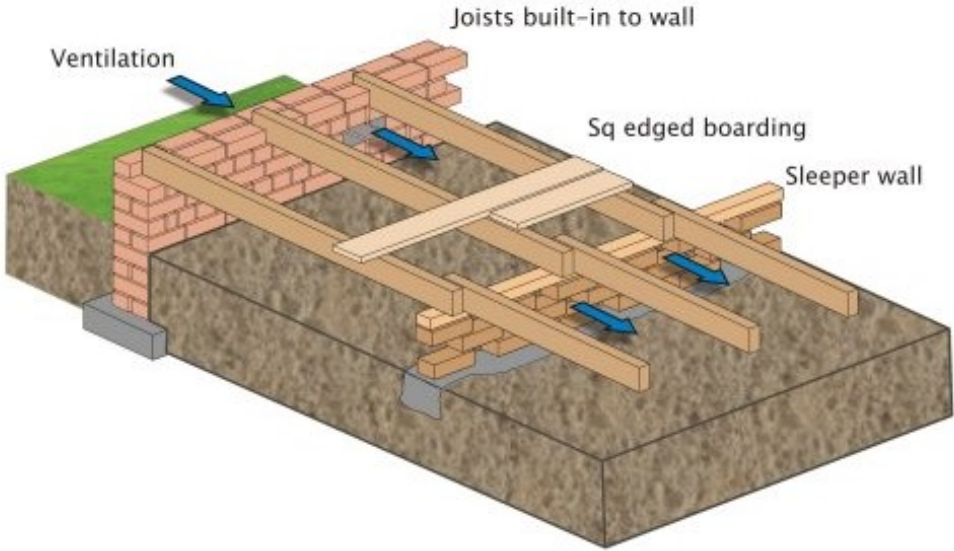
Area of dampness in the living room



High moisture reading in the living room



Dot Dab Example

|                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                     |   |
|-----------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| COMPANY<br>THUMBNAIL<br>HERE                  | 5.4 Floors                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Condition<br>rating | 1 |
| Construction<br>& Type                        | The floors are of solid construction, probably of solid concrete.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                     |   |
| Nature of<br>inspection<br>and<br>Limitations | Floors were examined for sagging, hogging, unevenness, undue springiness and other signs of failure or damage. Fixed floor coverings in most rooms prevented direct examination of the floor surfaces.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                     |   |
| Condition                                     | <p>No significant defects were noted.</p> <p>For the most part, none of the floors were found to be unusually noisy or springy when walked upon, suggesting that the underlying structures are not affected by significant timber defects. The exception to this was an area in bedroom 1 where the surface was noted to be uneven. The cause is most likely to be due to the boards having been lifted to access services, but as there is a fitted carpet it was not possible to check this.</p> <p>An air brick in the external front wall would normally have been included to provide ventilation to the void beneath a suspended timber floor. However, the living room floor is of solid concrete construction. Looking in the meter cabinet there is evidence to suggest that the original suspended timber floor has been replaced by a concrete one, resulting in altered floor levels and a partial step at the bottom of the staircase.</p> <p>No evidence was seen of any unusual movement or other consequences of this arrangement, though the small bottom step is slightly awkward to use.</p> |                     |   |
| Action<br>Required                            | Floors should be monitored for any changes that occur in their level or springiness or noise, and further investigations carried out should any such changes become apparent.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                     |   |
|                                               |  <p>Suspended timber floor construction</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                     |   |

| COMPANY<br>THUMBNAIL<br>HERE                            | 5.5 Chimney Breasts, Fireplaces and Flues                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Condition<br>rating | 1 |
|---------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | <p>The chimney breast is of masonry construction.<br/>It rises from the bedroom, and, presumably extends through the flat above, and to the chimney stack within the front roof pitch.<br/>The opening to the fireplace has been sealed up, though there is a metal grille vent installed to provide ventilation.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>The chimney breast was examined for indications of dampness, lack of support, and other defects.<br/>It is impossible to investigate the condition or serviceability of chimney flues for use with fixed or open fires during a survey of this type. It is recommended that chimneys are swept and carefully checked before they are used.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                     |   |
| <b>Condition</b>                                        | <p>No significant defects were noted during my inspection and the chimney breast was found to be structurally sound.<br/>No evidence was found of any other defects associated chimney breast.</p> <p>The rear chimney breast has been removed in its entirety from below first floor ceiling level. This could mean that the remaining chimney breast in the roof space is unsupported and that it could be structurally unsafe. Although no evidence was seen to indicate any instability, it was not possible to confirm that suitable additional support has been added. Within the roof space there is some evidence of a steel structure having been installed, but due to timbers and other debris it was not possible to see whether this extends underneath the remaining chimney breast. The area needs to be explored more fully so as to confirm that some structural support exists.</p> <p>A solid fuel burning stove has been installed in the living room. There is a requirement for a descriptive plaque to be installed when a modern flue liner is fitted, which would commonly be located close to the electricity meter. No such plaque was identified and so the nature of any liner that has been installed cannot be known.</p> |                     |   |
| <b>Action<br/>Required</b>                              | <p>It is important to maintain an adequate airflow, by means of ventilation, through unused chimney flues to prevent the build-up of condensation within the chimney.<br/>Flues should be checked by a reputable heating engineer specialising in flues and chimneys, prior to use.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                     |   |

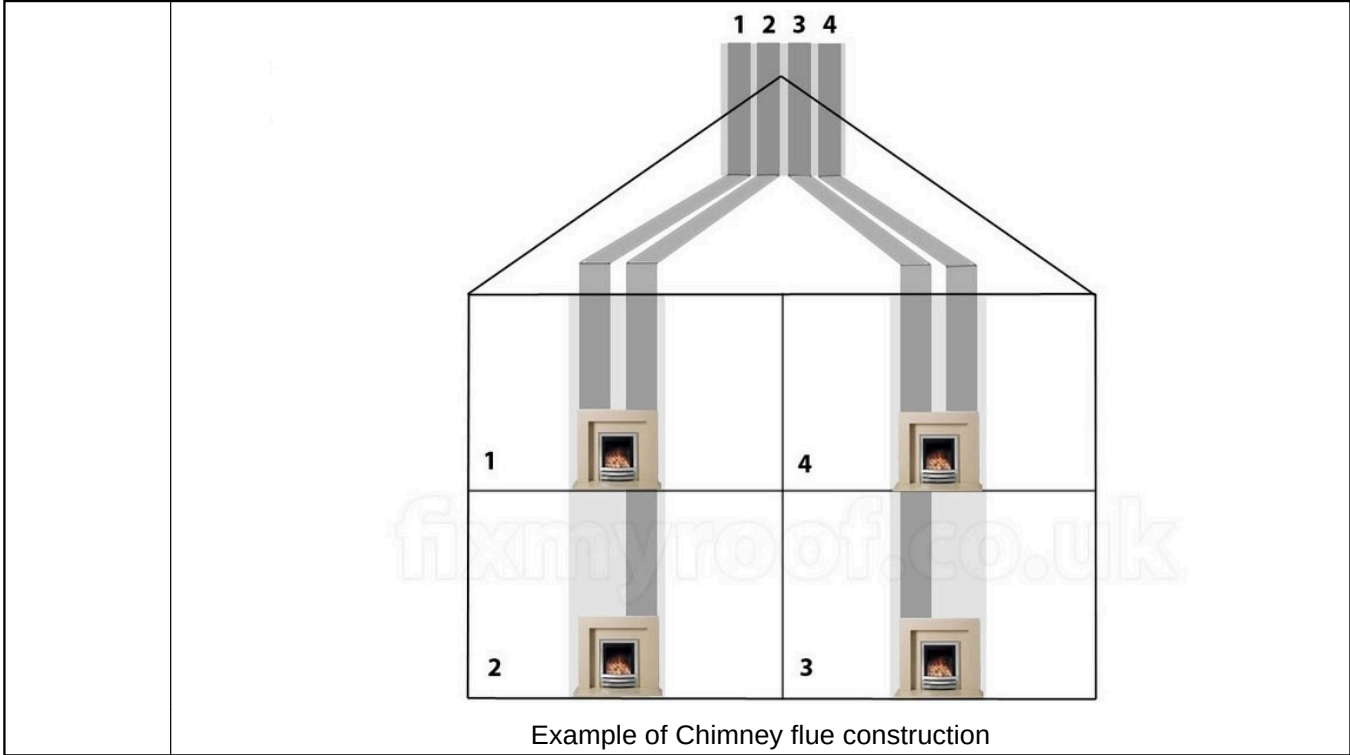




Stove in the living room



Front and rear chimney breasts in the roof space





| COMPANY<br>THUMBNAIL<br>HERE                  | 5.6 Built-In Fittings                                                                                                                                                                                                                                                                                                                 | Condition<br>rating | 1 |
|-----------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| Construction<br>& Type                        | The kitchen fittings include wall and base units, drawers, sink and worktops.                                                                                                                                                                                                                                                         |                     |   |
| Nature of<br>inspection<br>and<br>Limitations | The kitchen units were examined for general condition. A selection of cupboards and drawers were checked for normal operation. Built-in appliances were not checked for operation or safety.<br>Most of the cupboards were found to be very full of stored food, crockery and other items, limiting inspection of the internal areas. |                     |   |
| Condition                                     | The fittings are of a basic style and in a serviceable condition.<br>The flow of water at the sink was found to be within a normal range and considered to be suitable for the intended use.<br>Hot water was obtained from the hot tap.<br>It was noted, though, that the mixer tap unit is loose and requires re-fixing.            |                     |   |
| Action<br>Required                            | Maintain, repair or replace units as necessary.                                                                                                                                                                                                                                                                                       |                     |   |
|                                               |                                                                                                                                                                                                                                                    |                     |   |
|                                               | Units in kitchen                                                                                                                                                                                                                                                                                                                      |                     |   |

| COMPANY<br>THUMBNAIL<br>HERE                            | 5.7 Internal Joinery                                                                                                                                                                                                                                                                                                                                                                                                                                               | Condition<br>rating | 1 |
|---------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | The internal woodwork includes such items as doors, frames and skirtings.<br>The built-in fittings include such items as fitted wardrobes and cupboards.                                                                                                                                                                                                                                                                                                           |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | A selection of internal doors was checked for normal operation and other woodwork examined for a range of defects.<br>Woodwork was also examined for evidence associated with movement of the structure of the property, woodworm and other infestations, and general condition and usage.<br>Fitted wardrobes and cupboards were checked for general condition and normal operation of doors.                                                                     |                     |   |
| <b>Condition</b>                                        | The fittings were found to be in a serviceable condition and with no significant defects.<br>Doors within the property were found to open and close without fouling on their frames, suggesting that no unusual movement of the structure has occurred since the doors were installed.<br><br>The pitch angle of the stairs is steeper than would be allowed under current building regulations. This might present a hazard, especially to the young and elderly. |                     |   |
| <b>Action<br/>Required</b>                              | Door hinges and locks should be regularly lubricated. Internal timbers should be inspected regularly for evidence of bowing or distortion, woodworm and other defects.                                                                                                                                                                                                                                                                                             |                     |   |
|                                                         |  <p data-bbox="651 1823 1094 1852">Inoperative door catch to bedroom 2</p>                                                                                                                                                                                                                                                                                                     |                     |   |

| COMPANY<br>THUMBNAIL<br>HERE                            | 5.8 Bathroom and Sanitary Fittings                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Condition<br>rating | 1 |
|---------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | The sanitary fittings in the bathroom include the bath with mixer shower and screen, basin and WC.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>All sanitary fittings were checked for normal operation.<br/>           Taps were turned on to form an opinion of the water flow in normal use, but for practical reasons were only operated individually. You may experience a drop in the flow rate at any individual outlet when another is turned on at the same time.<br/>           Hot taps were left running until hot water became available.<br/>           The toilet was flushed several times.<br/>           The shower was operated to check general flow.<br/>           Inspection was made to identify any obvious leaks sourced from sanitary fittings. However, it is not possible to examine waste, or other, pipework and joints, where they are concealed beneath baths, shower trays, etc.</p> |                     |   |
| <b>Condition</b>                                        | <p>All of the fittings checked were found to operate normally.<br/>           They are partly of a rather dated nature but in a serviceable condition.<br/>           The flow of water at all outlets checked was within a normal range and considered to be suitable for the intended use.<br/>           Hot water was obtained from all hot tap outlets.</p> <p>There is no mechanical ventilation, such as an extractor fan, in the bathroom. This increases the risk of condensation damage to the walls and ceiling. It is recommended that you install an extractor fan to improve ventilation.</p>                                                                                                                                                               |                     |   |
| <b>Action<br/>Required</b>                              | Maintain, repair or replace units as necessary.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                     |   |



Chipped enamel on the bath

|                              |                                                                                                                                                                                                                                                                                                                                                                                                 |                     |           |
|------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|-----------|
| COMPANY<br>THUMBNAIL<br>HERE | <b>5.9 Loft Conversions</b>                                                                                                                                                                                                                                                                                                                                                                     | Condition<br>rating | <b>NI</b> |
| Construction<br>& Type       | <p>When NA (not applicable) is selected as the condition rating in section 5.9 and 5.10 then all reference to that element is removed from the published report. YOU MUST INCLUDE SOME TEXT IN THE REMAINING TEXT BOX.</p> <p>If you select NI (not inspected) then the top text box is included in the report and should include your explanation as to why the element was not inspected.</p> |                     |           |

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| COMPANY<br>THUMBNAIL<br>HERE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <b>Section 6 - Services</b> |
| <p><b>Scope of survey</b></p> <p>A visual non-invasive inspection of the services was carried out. Specialist tests were not conducted but services were checked through their normal operation in everyday use. If any services (such as the boiler or mains water) were turned off, they were not turned on for safety reasons and the report will state that to be the case.</p> <p>The reports only comments on the services covered in this section (electricity, gas, oil, water, heating and drainage).</p> <p>All other services and domestic appliances are not included in the inspection: for example security and door answering systems, smoke alarms, television, cable, wireless and satellite communication systems, cookers, hobs, washing machines and fridges (even where built in).</p> <p><b>Competent Person Schemes</b></p> <p>Competent person self certification schemes (commonly referred to as competent person schemes) were introduced by the Government in 2002 to allow registered installers (i.e. businesses, mostly small firms or sole traders), who are competent in their field, to self-certify certain types of building work as compliant with the requirements of the Building Regulations.</p> <p>These schemes offer benefits to the building industry and consumers:</p> <ul style="list-style-type: none"> <li>- scheme members save time by not having to notify in advance and use a building control body (i.e. a local authority or a private sector approved inspector) to check/inspect their work</li> <li>- consumers benefit from lower prices as building control charges are not payable.</li> </ul> <p>The schemes help to tackle the problem of cowboy builders by raising standards in the industry and enabling consumers to identify competent installers. They also allow building control bodies to concentrate their resources on areas of higher risk.</p> <p>Any works undertaken to these services should be carried out only by a suitably qualified competent person.</p> <p>Examples of Competent person schemes are Gas Safe Register, CIGA, CERTASS, Competent Roofer, FENSA, HETAS, NAPIT, OFTEC.</p> |                             |
| <b>6.1</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>Electricity</b>          |

|     |                     |
|-----|---------------------|
| 6.2 | Gas / Oil           |
| 6.3 | Water               |
| 6.4 | Heating and Cooling |
| 6.5 | Drainage            |
| 6.6 | Other Services      |



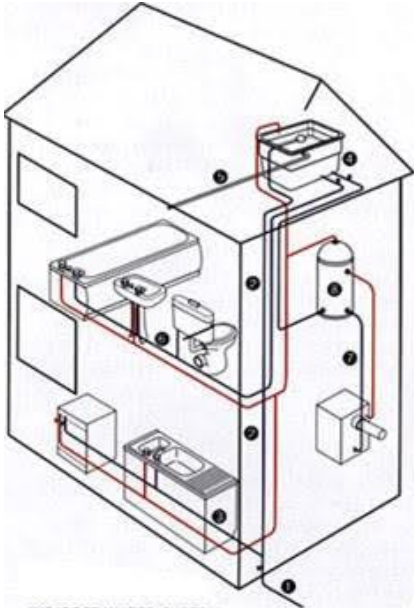
| COMPANY<br>THUMBNAIL<br>HERE                            | 6.1 Electricity                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Condition<br>rating | HS |
|---------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|----|
| <b>Construction<br/>&amp; Type</b>                      | <p>There is a mains electrical supply and the meter and consumer unit [fuse box] are located in the hall cupboard.<br/>           A single rate meter is installed.<br/>           The consumer unit is of a more modern style which includes micro circuit breakers and residual current device trip switches.</p>                                                                                                                                                                                                                                                                                                                                                                                                         |                     |    |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>It is not possible to fully assess the condition and safety of an electrical installation on the basis of a visual inspection only. Distribution wiring is largely concealed and therefore date and quality of installation cannot be verified within in the scope of this inspection. The installation was inspected visually to the extent sufficient to form an overall opinion of the type of installation, the materials used, its apparent age, its visible condition and the need for further investigations. No testing of the installations or appliances was carried out other than operation in normal everyday use.</p>                                                                                      |                     |    |
| <b>Condition</b>                                        | <p>No evidence of broken, loose or damaged parts of the installation was seen, nor were any obvious amateur alterations or interventions noted. However, where furniture and other items are present many of the outlets can be hidden from view.<br/>           As far as could be seen the visible wiring is of a modern PVC type.<br/>           A label on the consumer unit suggest that the installation was last inspected in 2013.</p> <p>The number of socket outlets in each room was not visible, but extension leads visible suggests that there may be insufficient outlets for modern needs. You may wish to have further sockets added. This work should be carried out only by a qualified electrician.</p> |                     |    |

|                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|-------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Action Required</b></p> | <p>NAPIT recommends that domestic electrical installations are inspected and tested every 10 years in line with IET (The Institution of Engineering &amp; Technology) Guidance Note 3 covering Electrical Installation Condition Reports (EICR). This guidance also recommends that at any change of occupancy (such as a house sale, or change of tenant) an Electrical Installation Condition Report is carried out to prove the installation to be in a satisfactory or unsatisfactory condition. This report should cover all the fixed wiring and equipment within the property boundaries, including outbuildings.</p> <p>You can get further information from the Electricity Safety First at <a href="http://www.electricalsafetyfirst.org.uk/guides-and-advice/around-the-home/how-safe-is-your-home/">http://www.electricalsafetyfirst.org.uk/guides-and-advice/around-the-home/how-safe-is-your-home/</a></p> <p>Any electrical works carried out should have been completed by a Registered Competent Person (Electrical) and, as such, would have provided a Minor Electrical Installation Works Certificate, or an Electrical Installation Certificate, and in addition a Building Regulation Compliance Certificate where required.</p> <p>At the time of the survey no documentation was seen to verify that an inspection has been carried out within the last 10 years and the installation must therefore be considered to be in a potentially dangerous and unsatisfactory condition. An electrical installation can look to be in a safe condition, but serious defects may be hidden within the walls or under floors. It is therefore considered to be essential that you commission an inspection and testing of the electrical installation prior to purchase of the property, unless you are provided with verifiable evidence that such an inspection has recently been carried out by a registered competent person (electrical.)</p> <p>There is no legal requirement on the seller of a house to provide an up-to-date Electrical Installation Condition Report. Whilst it is not unreasonable to ask the seller to provide evidence of the condition of the electrical installation, they are under no obligation to do so.</p> |
|                               |  <p>Consumer unit</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |



Electricity meter

| COMPANY<br>THUMBNAIL<br>HERE                            | 6.2 Gas / Oil                                                                                                                                                                                                                                           | Condition<br>rating | 1 |
|---------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | <p>There is a gas supply and the meter and regulator valve are located in an external housing on the left of the property.<br/>The supply pipe runs rearwards from the meter, under the doorstep to 19b, entering the flat adjacent to the kitchen.</p> |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>The system was inspected for any obvious signs of damage or leakage.</p>                                                                                                                                                                             |                     |   |
| <b>Condition</b>                                        | <p>No significant defects were noted but see also recommendation in 6.4 Heating with regard to a full test and inspection.</p>                                                                                                                          |                     |   |
| <b>Action<br/>Required</b>                              | <p>Monitor the meter and valve for signs of corrosion or degradation.</p>                                                                                                                                                                               |                     |   |
|                                                         | <div data-bbox="376 920 1369 1657" data-label="Image"> </div> <p style="text-align: center;">Gas meter</p>                                                                                                                                              |                     |   |

| COMPANY<br>THUMBNAIL<br>HERE                  | 6.3 Water                                                                                                                                                                                                                                                                               | Condition<br>rating | 1 |
|-----------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| Construction<br>& Type                        | There is a mains water supply. The visible pipework is copper and the internal stop valve was not located.<br>As the property is fitted with a combination boiler there are no hot or cold water tanks used with the system.                                                            |                     |   |
| Nature of<br>inspection<br>and<br>Limitations | The installation was inspected for any obvious signs of damage or leakage.                                                                                                                                                                                                              |                     |   |
| Condition                                     | No significant defects were noted.<br>The flow of water at all outlets checked was found to be within a normal range. Hot water was obtained from all hot tap outlets.                                                                                                                  |                     |   |
| Action<br>Required                            | Check the installation for evidence of leaks or other defects on a regular basis i.e. approximately every 6 months, or sooner. Leaks most often occur at pipe joints and where pipes are subject to movement or physical damage, such as airing cupboards, roof spaces and under sinks. |                     |   |
|                                               |  <p>Indirect DHW system</p>                                                                                                                                                                         |                     |   |



| COMPANY<br>THUMBNAIL<br>HERE                            | 6.4 Heating and Cooling                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Condition<br>rating | HS |
|---------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|----|
| <b>Construction<br/>&amp; Type</b>                      | <p>The heating and hot water is provided by a gas-fired condensing combination boiler which is located in the kitchen.</p> <p>The boiler is a Ideal Logic Combi 30. On the SEDBUK seasonal efficiency database this boiler is shown as having a SAP 2009 annual efficiency rating of 89%. It is believed that this model was manufactured between 2009 and 2016.</p> <p>As a guide, most modern condensing boilers have an efficiency of around 85-90%.</p> <p>Heating is distributed by radiators in most rooms.</p> <p>The heating is controlled by a combined programmer and thermostat unit adjacent to the front door, and thermostatic valves on most radiators.</p>                                                                                  |                     |    |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>At the time of the survey the heating was checked and the boiler appeared to fire up normally. The operation of any heating controls such as thermostats could not be checked.</p> <p>It is not possible to fully assess the condition and safety of a gas installation on the basis of a visual inspection only. A visual inspection was carried out of the radiators, pipework and boiler to detect leaks, corrosion and other common defects.</p>                                                                                                                                                                                                                                                                                                     |                     |    |
| <b>Condition</b>                                        | <p>No documentary evidence was available to suggest that the boiler has been recently serviced. Under normal circumstances a modern boiler will last for 15-20 years before requiring replacement. It is believed that the boiler is between 3 and 10 years old and so may be around halfway through its normal expected service life.</p>                                                                                                                                                                                                                                                                                                                                                                                                                  |                     |    |
| <b>Action<br/>Required</b>                              | <p>Gas Safe recommends that all gas appliances and boilers are inspected and serviced according to manufacturer's guidance, but at least once a year. A gas installation can look to be in a safe condition, but serious defects may be hidden, some of which can kill. It is therefore considered to be essential that you commission an inspection of the gas/heating installation prior to purchase of the property, unless you are provided with verifiable evidence that such an inspection has recently been carried out by a competent person.</p> <p>You can get more information, or find a Gas Safe registered engineer <a href="https://www.gassaferegister.co.uk/find-an-engineer/">https://www.gassaferegister.co.uk/find-an-engineer/</a></p> |                     |    |





Boiler



Combined programmer and thermostat

| COMPANY<br>THUMBNAIL<br>HERE                            | 6.5 Drainage                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Condition<br>rating | 1 |
|---------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | <p>The property is understood to be connected to mains drainage. Your conveyancer should confirm this to be the case and advise the water authority to whom fees are payable in respect of sewerage.</p> <p>There are 2 drainage inspection chambers within the grounds of the property, one under the side gate and the other in the rear patio.</p> <p>The lid of the chamber under the side gate is cracked and could not, therefore, be lifted for internal inspection due to the risk of it not re-seating correctly.</p> <p>The lid of the chamber in the rear patio was lifted, but this proved inconclusive as neither toilet flush nor kitchen sink water was observed to run through it.</p> <p>It is suspected, therefore, that all of the waste water from the flat runs immediately to the left side, and through the chamber under the side gate, whilst the rear chamber collects water from the neighbouring property, diverting it towards the chamber under the gate.</p> <p>Although no specific checks could be carried out, water was seen to drain away from the toilet and other outlets without any apparent blockages being present.</p> |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>The drains run down the side of the property, through the driveway and to the main road at the front.</p> <p>The drains run across the back of the properties.</p> <p>Both covers were lifted, all taps were run and WC's flushed, and water was seen to be running clear of debris and other obstacles.</p> <p>Internally, all taps were run and WC's flushed, and water was seen to be running clear from the internal services.</p> <p>It should be noted that the underground drainage network was not inspected with the use of cameras and therefore no assessment could be made of the condition of the drains other than at the inspection chambers described above.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                     |   |
| <b>Condition</b>                                        | <p>Water was seen to run through the chamber with no blockages or undue levels of silt being apparent.</p> <p>It should be noted that the internal drainage network was not inspected with the use of cameras and therefore no assessment could be made of the condition of the drains other than at the inspection chambers described above.</p> <p>The soil vent pipe at the rear of the house is likely to be made of a material that contains asbestos.</p> <p>In its current condition it presents no risk to health with any asbestos fibres being fully and securely encapsulated within the material of the pipe. Care and advice should be taken before any attempt to remove it. See section 3.4.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                     |   |

|                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|----------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Action<br/>Required</b> | <p>Drains should be regularly inspected to ensure they remain free from blockages, tree root damage or other obstructions.</p> <p>It is often suggested that the manholes only allow inspection of 5-10% of an entire drainage installation. As such, it is entirely possible that damage can be present within the system but which would not be apparent from opening the manholes.</p> <p>The only way to confirm the condition of the whole installation is to commission a CCTV inspection from a qualified contractor, for example a member of the National Association of Drainage Contractors at <a href="http://www.nadc.org.uk/">www.nadc.org.uk/</a></p> |
|                            |  <p>Cracked lid of the chamber by the side gate</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |



Inspection chamber to the left side rear with the house to the left of the picture

| COMPANY<br>THUMBNAIL<br>HERE                            | 6.6 Other Services                                                                                                                                                                                                                                                                                                                                                      | Condition<br>rating | 1 |
|---------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | There is a television aerial and satellite dish mounted on the rear wall.<br>There is no alarm system installed at the property.                                                                                                                                                                                                                                        |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | A visual inspection was made to locate television aerials and satellite dishes at the property.<br>They were examined for general condition and security of fixing from ground level and with the aid of binoculars where necessary.<br>No specific checks were made to confirm connections to/from the aerials or dishes or their effectiveness of providing a signal. |                     |   |
| <b>Condition</b>                                        | No significant defects were noted.<br>Ensure TV and Radio reception is possible if these are desired services.                                                                                                                                                                                                                                                          |                     |   |
| <b>Action<br/>Required</b>                              | Examine all fittings regularly to ensure that they are secure.                                                                                                                                                                                                                                                                                                          |                     |   |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                      |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|
| COMPANY<br>THUMBNAIL<br>HERE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>Section 7 - External Elements</b> |
| <b>Scope of survey</b><br><br>The condition of the boundary walls and fences, outbuildings and areas in common (shared) use was inspected from within the grounds and any public areas, but not from neighbouring private property.<br><br>The report provides a summary of the general condition of any garden walls, fences and permanent outbuildings. Buildings containing swimming pools and sports facilities are treated as outbuildings, but the report does not comment on the leisure facilities, such as the pool itself and its equipment. |                                      |
| 7.1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Garaging                             |
| 7.2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Outbuildings and Sheds               |
| 7.3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Grounds                              |
| 7.4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Common and Shared Areas              |
| 7.5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Neighbourly Matters                  |



|                              |                                        |                     |           |
|------------------------------|----------------------------------------|---------------------|-----------|
| COMPANY<br>THUMBNAIL<br>HERE | <b>7.1 Garaging</b>                    | Condition<br>rating | <b>NA</b> |
| Construction<br>& Type       | Not applicable - none at the property. |                     |           |

|                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                     |          |
|-----------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|----------|
| COMPANY<br>THUMBNAIL<br>HERE                  | <b>7.2 Outbuildings and Sheds</b>                                                                                                                                                                                                                                                                                                                                                                                                                    | Condition<br>rating | <b>1</b> |
| Construction<br>& Type                        | There is a shed in the garden at the rear of the property.<br>It is of timber construction with an apex roof covered in felt.                                                                                                                                                                                                                                                                                                                        |                     |          |
| Nature of<br>inspection<br>and<br>Limitations | The shed was assessed for general condition and was examined externally and internally to identify areas of rot, damage, leaks and other defects.<br>It was not possible to access the external left and right sides of the shed due to the proximity of the boundary and foliage growth.<br>The roof was assessed from photographs recorded.<br>The shed was very full internally, limiting the extent of any inspection that could be carried out. |                     |          |
| Condition                                     | The outer walls of the shed have not been maintained in recent years and require re-treatment.<br>The roof covering does not show evidence of leaks, but is obviously quite worn.<br>Overall, though, the shed was found to be in an average condition.                                                                                                                                                                                              |                     |          |
| Action<br>Required                            | Normal maintenance, including regular retreatment of the walls, is required.<br>Foliage and debris should be removed from the outside walls.<br>Compared to traditional coverings such as tiles and slates, most felt roofs have a typical life of 10-25 years. They are also prone to sudden failure and leakage. Periodic re-covering will therefore be necessary. When this is undertaken, the supporting structure may also need some attention. |                     |          |



Shed



Roof



Rear door opens to remainder of garden area

| COMPANY<br>THUMBNAIL<br>HERE                            | 7.3 Grounds                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Condition<br>rating | 1 |
|---------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|---|
| <b>Construction<br/>&amp; Type</b>                      | <p>There are gardens to the rear which are mostly lawned with surrounding borders.<br/>There are paths, a patio and other paving around the property which are of concrete, concrete slabs and crazy paving.<br/>The single parking area is to the front of the property and is laid with concrete.<br/>The boundaries are defined by a mixture of timber panel fencing and hedges.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                     |   |
| <b>Nature of<br/>inspection<br/>and<br/>Limitations</b> | <p>The grounds around the house were inspected for any indications of land failure or movement, or other defects that would have a material effect on the property as a whole.</p> <p>It should be noted that a full and detailed inspection for the presence of Japanese Knotweed cannot be carried out especially where the gardens are well stocked or have been recently cut and maintained. No evidence of the presence of Japanese Knotweed was seen during my inspection but you are advised to seek further advice if you believe it may be present or are aware that it is present in premises nearby.</p> <p>Some parts of the grounds are overgrown with foliage and could not, therefore, be examined in detail.</p>                                                                                                                                                                                                                                                                                                                                                                            |                     |   |
| <b>Condition</b>                                        | <p>There is no indication of the ownership of any of the boundary walls, fences or hedges, and in most cases this is not specified by the deeds or title documents. Often, responsibility for boundaries to one side or another has been assumed by subsequent owners. You should ask your conveyancer to advise on any indications of ownership included in the title documents. The fences to either side were found to be generally stable, though that to the right side is loose in some areas.</p> <p>No obvious evidence of subsidence or other unusual ground movement was seen. Paving around the property is mostly stable, it is slightly uneven on the shared parts to the front, and there is some age-related settlement cracking of the rear patio, but none indicate unusual failure the ground beneath.</p> <p>The garden area to the rear of the shed can be accessed from within the shed, but is extremely overgrown and inaccessible. As a result, it was not possible to confirm the presence or absence of any invasive plant species, or to assess the levelness of the ground.</p> |                     |   |
| <b>Action<br/>Required</b>                              | <p>Normal maintenance of the grounds is required.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                     |   |





View of overgrown area to the rear of the shed



Uneven paving on the shared path at the front



Settlement cracking of the rear patio



|                                    |                                                                                            |                     |           |
|------------------------------------|--------------------------------------------------------------------------------------------|---------------------|-----------|
| COMPANY<br>THUMBNAIL<br>HERE       | <b>7.4 Common and Shared Areas</b>                                                         | Condition<br>rating | <b>NA</b> |
| <b>Construction<br/>&amp; Type</b> | Other than for the path to the left side, there are no shared grounds or other facilities. |                     |           |

|                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| COMPANY<br>THUMBNAIL<br>HERE | <b>7.5 Neighbourly Matters</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <b>Observations</b>          | <p>A general unspecific overview of the immediate local area was carried out during the course of the survey, to identify issues that might affect the normal enjoyment of the property. The property is noted to be on a very busy main road which carries heavy goods vehicles. As such it will be affected by noise and vibration at most times of day and night. Access to the rear parking area is via a shared track leading from the main road at the front. The track is in a potholed and uneven condition and you should ensure that you are aware of any repair and maintenance arrangements. You are advised to visit the property on a number of occasions at different times of the day and night to form an opinion of any factors that might be relevant.</p> |
|                              |  <p>Shared access from the road is potholed and uneven</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |

|                                           |                                                                       |                              |             |
|-------------------------------------------|-----------------------------------------------------------------------|------------------------------|-------------|
| <div>COMPANY<br/>THUMBNAİL<br/>HERE</div> | <div>Section 8    Addendum</div> <div>8.1 - About your Surveyor</div> |                              |             |
| Surveyor                                  | Alan Milstein                                                         |                              |             |
| Address                                   | Skyline Surveyors Ltd<br>6 Whyke Lane, Chichester, PO19 7UR           |                              |             |
| Contact Details                           | Telephone                                                             | 07905 259293                 |             |
|                                           | Mobile                                                                |                              |             |
|                                           | Email                                                                 | alan@skylinesurveyors.co.uk  |             |
| Signed<br>(electronic<br>signature)       | <div>SURVEYOR<br/>SIGNATURE HERE</div>                                | Date<br>Finalising<br>Report | 29 Sep 2025 |

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THUMBNAIL  
HERE

## 8.2 - Maintenance advice

Your home needs maintaining in the normal way, and this general advice may be useful when read together with your report. It is not specific to this property and does not include comprehensive details. Problems in construction may develop slowly over time.

### Outside

You should check the condition of your property at least once a year and after severe weather. Routine redecoration of the outside of the property will also give you an opportunity to closely examine the building.

Chimney stacks: Check these occasionally for signs of cracked cement, split or broken pots, or loose and gaping joints in the brickwork or render. Storms may loosen aerials or other fixings, including the flashings, the materials used to form the joints with the roof coverings.

Roof coverings: Check these occasionally for slipped, broken and missing tiles or slates, particularly after severe weather.

Flat roofing has a limited life, and is at risk of cracking and blistering. You should not walk on a flat roof. Where possible keep it free from debris. If it is covered with spar chippings, make sure the coverage is even, and replace chippings where necessary.

Rainwater pipes and gutters: Clear any debris at least once a year, and check for leaks when it is raining. You should also check for any loose downpipe connectors and broken fixings.

Main walls: Check main walls for cracks and any uneven bulging. Maintain the joints in brickwork and repair loose or broken rendering. Re-paint decorated walls regularly. Cut back or remove any plants that are harmful to mortar and render. Keep the soil level well below the level of any damp proof course (150mm minimum recommended) and make sure any ventilation bricks are kept clear. Check over cladding for broken, rotted or damaged areas that need repairing.

Windows and doors: Once a year check all frames for signs of rot in wood frames, for any splits in plastic or metal frames and for rusting to latches and hinges in metal frames. Maintain all decorated frames by repairing or redecorating at the first sign of any deterioration. In autumn check double glazing for condensation between the glazing, as this is a sign of a faulty unit. Have broken or cracked glass replaced by a qualified specialist. Check for broken sash cords on sliding sash windows, and sills and window boards for any damage.

Conservatories and porches: Keep all glass surfaces clean, and clear all rainwater gutters and down pipes. Look for broken glazing and for any leaks when it's raining. Arrange for repairs by a qualified specialist.

Other woodwork and finishes: Regularly redecorate all joinery, and check for rot and decay which you should repair at the same time.

### Grounds

Garages and outbuildings: Follow the maintenance advice given for the main building.

Other: Regularly prune trees, shrubs and hedges as necessary. Look out for any overhanging and unsafe branches, loose walls, fences and ornaments, particularly after severe weather. Clear leaves and other debris, moss and algae growth. Make sure all hard surfaces are stable and level, and not slippery or a trip hazard.

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## 8.2 - Maintenance advice (contd)

### Inside the property

You can check the inside of your property regularly when cleaning, decorating and replacing carpets or floor coverings. You should also check the roof area occasionally.

Roof structure: When you access the roof area, check for signs of any leaks and the presence of vermin, rot or decay to timbers. Also look for tears to the under-felting of the roof, and check pipes, lagging and insulated areas.

Ceilings: If you have a leak in the roof the first sign is often damp on the ceiling beneath the roof. Be aware if your ceiling begins to look uneven as this may indicate a serious problem, particularly for older ceilings.

Walls and partitions: Look for cracking and impact damage, or damp areas which may be caused by plumbing faults or defects on the outside of the property.

Floors: Be alert for signs of unevenness when you are moving furniture, particularly with timber floors.

Fireplaces, chimney breasts and flues: You should arrange for a qualified specialist to regularly sweep all used open chimneys. Also, make sure that bricked-up flues are ventilated.

Flues to gas appliances should be checked annually by a qualified gas technician.

Built-in fittings: Check for broken fittings.

### Services

Ensure all meters and control valves are easy to access and not hidden or covered over.

Arrange for a competent person to check and test all gas and oil services, boilers, heating systems and connected devices once a year.

Electrical installations should only be replaced or modified by a competent person and tested as specified by the Electrical Safety Council (recommended minimum of a ten year period if no alterations or additions are made, or on change of occupancy).

Monitor plumbing regularly during use. Look out for leakage and breakages, and check insulation is adequate particularly as winter approaches.

Lift drain covers annually to check for blockages and clean these as necessary. Check any private drainage systems annually, and arrange for a qualified contractor to clear these as necessary. Keep gullies free from debris.

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## 8.2 - Maintenance advice (contd)

### Important information for purchasers of older, listed and historic properties

Modern properties, those built after 1900 or so, are essentially constructed as sealed boxes which are designed to keep all moisture out. This is achieved by the use of impermeable membranes at ground level (such as a damp proof course) to prevent moisture rising up from the ground below, and cavity walls which are designed to prevent moisture penetrating through the walls. Windows and doors are made to seal tightly, and most houses built today are constructed without any chimneys at all.

In this type of property, where dampness is found inside then it is generally due to some specific defect which will require repair.

Older properties, generally those built before 1850 or so, were constructed in a very different way, and one in which moisture will naturally enter the property. They do not have damp proof courses or cavity walls and are not intended to be a sealed unit.

However, these properties are designed to manage the movement of moisture in such a way as to prevent it becoming a hazard to health or to the structure of the building, and it is important to understand the mechanisms by which it does this in order to protect the structural elements of the building from becoming defective.

At the time that these properties were constructed it was the normal for them to have many openings where draughts could enter the building, such as multiple open fireplaces, ill-fitting doors and windows, and gaps in floorboards. As a result, ventilation levels were very high, allowing moisture to evaporate readily in the moving air, and to be carried away to the outside. So, for example, where moisture penetrated the walls, although the inside surfaces of those walls would be damp, the levels of moisture would achieve equilibrium as the rate of evaporation compensated for the rate of penetration.

Today, we try to minimise draughts by blocking fireplaces, adding secondary or double glazing, laying laminate floors and sealing the gaps around doors and windows. As a result moisture levels rise due to the decreased air movement that is a consequence of the reduced ventilation. This then leads to dampness becoming evident, particularly in areas of minimal air movement, such as behind large objects of furniture and within cupboards and wardrobes.

Many older homes were built at a time when lime mortar was the primary method of setting bricks and stones. Lime mortar is both flexible and porous, unlike the very hard, inflexible and nonporous cement mortars used in more modern construction. Lime mortar, therefore, allows the moisture evaporation process to continue by acting as a wick for moisture to leave the main walls between the bricks and/or stones that make up the bulk of the wall. This is a further step in the process of managing moisture within the property.

Today, we see many repairs carried out to older homes using cement mortar. This seals the gaps between the bricks and/or stones, trapping the moisture in the wall and forcing it into the surface of the bricks and stones, causing them to fail when that moisture freezes in the surface of those materials. And by reducing the amount of moisture that can evaporate through the wall to the outside, it increases dampness levels inside.

As a result of the actions described above, it is common, today, to find higher than average moisture levels in older properties. The consequences of this can cause significant defects within the property. In particular, high moisture levels, especially in roof spaces and cellars, can promote the development of wood boring insects such as Common Furniture Beetle, and Death Watch Beetle in structural timbers such as roof and floor joists. High levels of dampness in walls causes plaster to fail, decorations to become damaged, and in some properties, significant damage to the timber frame of the building.



To avoid these defects developing and becoming a serious threat to the building, it is important to be aware of the consequences of any actions which may have an impact on moisture management within the building. The following is a list of suggestions and recommendations that will help maintain the building in a good and sound condition. It is by no means an exhaustive list and it is recommended that all owners of listed, historic and older buildings inform themselves of the best way to protect such a property.

1. Consider ways to improve ventilation within the property. This may include the installation of mechanical extractors in kitchens and bathrooms, removing secondary glazing units, ensuring that windows can be opened easily and that they are used regularly, removing insulation from the eaves area of the roof where it may block ventilation, and not leaving the property closed up and unoccupied for extended periods.

2. Where repairs are necessary, ensure they are carried out by tradespeople who are knowledgeable and competent in traditional building methods and that materials are sympathetic to those used originally. In particular, where walls are to be repointed, then lime mortar (which is very different from cement mortar with some lime added!) should be used and any earlier cement mortar repairs removed and refinished.

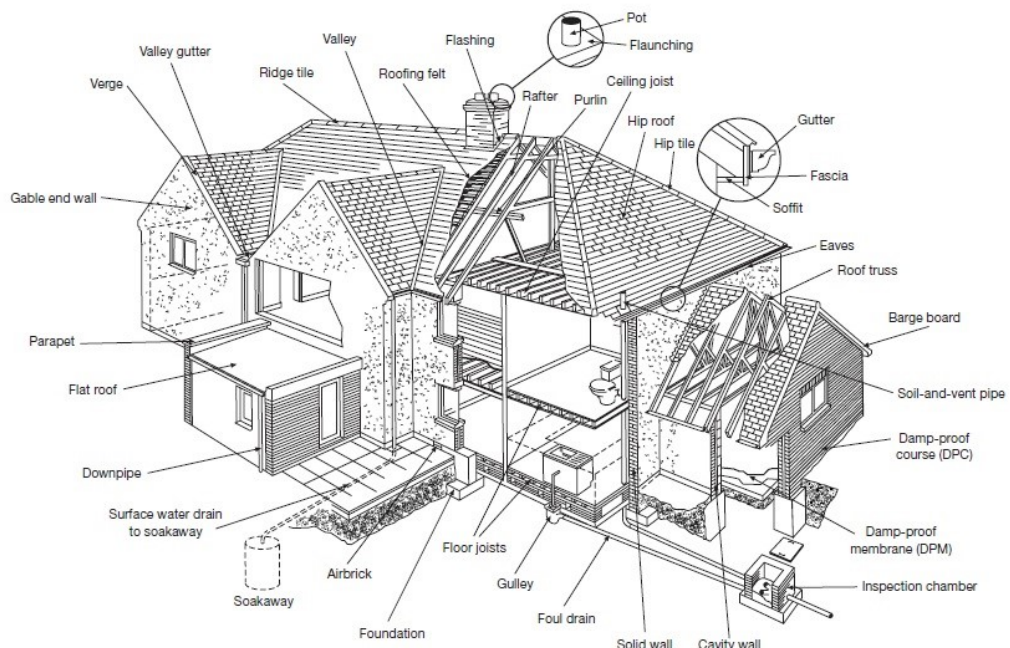
3. Ensure that the guttering and rainwater handling systems are in a well maintained and fully operative condition. Very significant damage can be caused in a very short period of time due to simple leaking gutters, downpipes, hoppers and other elements of the rainwater handling systems. It is therefore essential that these are inspected regularly, at least three or four times a year, and any damages or defects repaired as quickly as possible. In particular they should be cleared after autumn leaf fall to ensure they are as effective as possible during the winter.

4. Maintain a regular and vigilant inspection process. Unidentified or unrepaired defects can rapidly become more significant, and therefore more costly to repair. A regular process of inspection is more likely to ensure that defects identified at an early stage and can be rectified before further damage is caused. Such a process should include inspection of all the outside elements such as chimneys, roofs, walls, guttering and downpipes, windows and doors and roof edge timbers etc. Internal inspections should include a detailed examination of the roof timbers, moving of large objects of furniture to assess the wall condition behind, examination of floors, doors and timber fittings to identify signs of movement, and the condition of the heating and plumbing systems to ensure no leaks are present. This is in addition to a general and normal maintenance programme.

5. Avoid the introduction of unnecessary interventions. Many companies will recommend the use of chemical processes, such as spraying of timbers or injection of damp proof courses, as a means of rectifying the effects of dampness. In most cases, in respect of older properties, these processes are completely unnecessary, usually ineffective, and in many instances counter-productive. Attempting to prevent the passage of moisture through a wall which was always intended to be damp is unlikely to affect a cure. In fact, it is likely to push the problem elsewhere, and may cause even more significant damage.

Remember that, if the property is listed, any works you wish to carry out may require Listed Building Consent, and it is always best to check with the local authority Conservation Officer before undertaking any activities.

There are many useful resources of information available from, for instance English Heritage, and the Society of Protection of Ancient Buildings, which can help you in understanding how to manage an older property in a sympathetic and considered way. It is strongly recommended that you gain an understanding of the means and methods that they advocate in order to protect your investment.



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## 8.3 – Customer Care

### Customer Care

At Skyline Surveyors Ltd our aim is to provide the best level of service possible and we go to very great lengths to ensure that the survey report we have prepared for you is as accurate, informative and complete as possible.

It is possible, however, that for some reason we have not met your expectations in some way and that you wish to raise a concern. We will treat any concerns positively and recognise that they are a means of identifying improvements which can be made to our service delivery standards. We will deal with any concerns quickly and will take prompt action to resolve them.

### How to contact us

There are several ways you can contact us:

- You can call us by telephone - 07905 259293
- You can email us at [alan@skylinesurveyors.co.uk](mailto:alan@skylinesurveyors.co.uk)
- You can write to us at our office, Skyline Surveyors Ltd, 6 Whyke Lane, Chichester, PO19 7UR